

Municipal District of Pincher Creek No. 9
MUNICIPAL PLANNING COMMISSION
MD of Pincher Creek Council Chambers
May 5, 2026
6:30 pm
Agenda

- 1. Adoption of Agenda**
- 2. New Business**
- 3. Minutes**
 - a. Meeting Minutes of April 7, 2026
- 4. Closed Meeting Session**
- 5. Unfinished Business**
- 6. Development Permit Applications**
 - a. Development Permit Application No. 2026-13
Neufeld Bros for Ryan Motz
Lot 36, Block 4, Plan 0152644 within CMR
SDR Addition with Tourist Home
 - b. Development Permit Application No. 2026-17
Matias Voramwald
Lot 2, Block 1, Plan 1112242 within SE 5-6-1 W5
Secondary Suite
 - c. Development Permit Application No. 2026-18
Riley Fouillard
Within ptn of NW 36-6-1 W5
Tourist Home
 - d. Development Permit Application No. 2026-19
Kassie Degen
Lot 4, Block 6903HE within Pincher Station
Tourist Home
- 7. Development Reports**
 - a. Development Officer's Report
- Report for April 2026
- 8. Correspondence**
- 9. Next Regular Meeting – June 2nd, 2026 6:30pm**
- 10. Adjournment**

**Meeting Minutes of the
Municipal Planning Commission
March 3rd, 2026 6:30 pm
MD of Pincher Creek Council Chambers**

ATTENDANCE

Commission: Member at Large Laurie Klassen, Reeve Rick Lemire, Councillors Tony Bruder, Jim Welsch, Dave Cox and John MacGarva

Staff: CAO Roland Milligan, Development Officer Laura McKinnon

Planning
Advisor: ORRSC, Senior Planner Gavin Scott (virtual)

Absent: Chairperson Jeff Hammond

Co-Chairperson Laurie Klassen called the meeting to order, the time being 6:30 pm.

1. ADOPTION OF AGENDA

Councillor Dave Cox 26/024

Moved that the agenda for April 7, 2026, be approved as amended.

Carried

2. NEW BUSINESS

3. ADOPTION OF MINUTES

Councillor John MacGarva 26/025

Moved that the Municipal Planning Commission Meeting Minutes for March 3, 2026 be approved as presented.

Carried

4. DELEGATION

Sarah Duncan, Government Relations for Forbes Bros Ltd, gave an overview of proposed Telecommunications Tower AB 5495 – 2026-01-T.

Sarah Duncan left the meeting at 6:46pm

5. CLOSED MEETING SESSION

Reeve Rick Lemire 26/026

Moved that the Municipal Planning Commission close the meeting to the public, under the authority of the *Municipal Government Act*, Section 197(2.1), the time being 6:46 pm.

MINUTES
Municipal Planning Commission (MPC)
Municipal District of Pincher Creek No. 9
April 7th 2026

Carried

Councillor John MacGarva

26/027

Moved that the Municipal Planning Commission open the meeting to the public, the time being 7:30 pm.

Carried

6. **UNFINISHED BUSINESS**

7. **DEVELOPMENT PERMIT APPLICATIONS**

- a. **Development Permit Application No. 2026-12**
Frank Marsh
Ptn of NW 12-6-1 W5
Outdoor Storage

Councillor Dave Cox

26/028

Moved that Development Permit No. 2026-12, for Outdoor Storage be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions required in Land Use Bylaw 1349-23.
2. That all outdoor storage be kept tidy and organized, to the satisfaction of the development authority.
3. That the number of vehicles located on this parcel, as outdoor storage, must not exceed 40.

- b. **Telecommunications Tower – AB 5495 – 2026-01-T**
Xplore Inc (via FB Connect)
S ½ 17-6-30 W4

Councillor Dave Cox

26/029

Moved that Municipal Concurrence be issued, for Telecommunications Tower AB 5495 (2026-01-T) subject to the following Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. The applicant is responsible for obtaining all applicable safety code permits prior to commencement.
3. The applicant is responsible for complying with all Provincial and Federal Regulations, approvals and authorizations and obtaining all applicable permits with copies being provided to the MD of Pincher Creek.
4. That no lighting be placed on the tower, unless required by Navigation Canada and Transport Canada.

8. **DEVELOPMENT REPORT**

a. Development Officer's Report

Councillor Tony Bruder 26/030

Moved that the Development Officer's Report, for the period March 2026, be received as information.

Carried

9. **NEW BUSINESS**

10. **CORRESPONDENCE**

11. **NEXT MEETING** – May 5th, 2026; 6:30 pm.

12. **ADJOURNMENT**

Councillor John MacGarva 26/031




Moved that the meeting adjourn, the time being 7:41 pm.

Carried

Chairperson Jeff Hammond
Municipal Planning Commission

Development Officer
Laura McKinnon
Municipal Planning Commission

Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2026-13 Applicant: Neufeld Bros Const for Ryan Motz Location: Lot 36, Block 4, Plan 0152644 within CMR Division: 3 Size of Parcel: 0.05 ha (0.12Acres) Zoning: Castle Mountain Resort Residential 1 (CMR-1) Development: SDR Addition with Tourist Home	
PREPARED BY: Laura McKinnon	DATE: April 30, 2026
DEPARTMENT: Planning and Development	
Signature:  <hr/>	ATTACHMENTS: 1. Development Permit Application 2026-13 2. House Drawings 3. Email from Applicant 4. GIS Aerial
APPROVALS:	
 <hr/> Acting Director of Corporate Services Department Director	Apr. 30/26 Date Roland Milligan CAO

RECOMMENDATION:

That Development Permit Application No. 2026-13, for a Tourist Home be approved subject to the following Condition(s):

Condition(s):

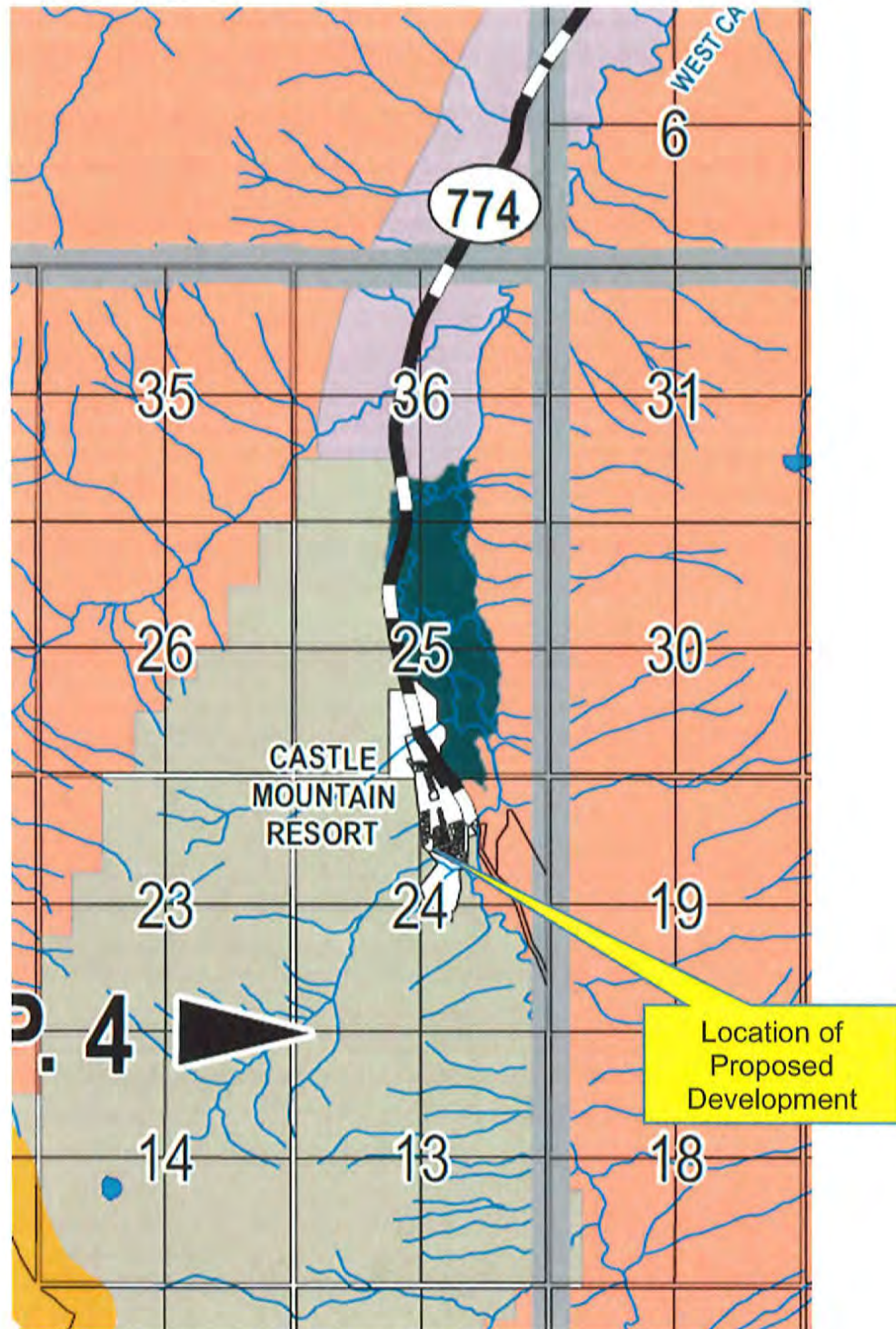
1. That this development meets the minimum provisions required in Land Use Bylaw 1349-23.

BACKGROUND:

- On April 2, 2026, the MD accepted the Development Permit Application No. 2026-13 from applicant Neufeld Bros Const. on behalf of Ryan Motz. (*Attachment No. 1*).
- This application is to allow for a seasonally operated Tourist Home on a Castle Mountain Resort Residential 1 (CMR-1) parcel.
- This application is being placed in front of the MPC because:
 - Within the Castle Mountain Resort Residential 1 (CMR-1) Land Use District, a Tourist Home is a Discretionary Use.
- The applicant is intending to build an addition onto the currently existing Single Detached Residence, which is a permitted use. (*Attachment No. 2*). Additionally, Mr. Motz advised that they would like to operate a short term rental in the basement of the addition (*Attachment No. 3*).
- The addition meets all required setbacks within the district (*Attachment No. 4*)
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written.

Recommendation to Municipal Planning Commission

Location of Proposed Development





Municipal District of Pincher Creek

P.O. Box 279

Pincher Creek, AB T0K 1W0

Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2026-13

Date Application Received March 19/26

PERMIT FEE ^{\$100 Permitted} ~~\$150 Discretionary~~

Date Application Accepted Apr 2/26

RECEIPT NO. 76789

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: 281181 Alberta Ltd o/a Neufeld Bros Const

Telephone: _____

Email: r. _____

Owner of Land (if different from above): Ryan & Cara Motz

Address: _____

Telephone: _____

Interest of Applicant (if not the owner): Contractor

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

Addition to existing cabin at CMR

Legal Description: Lot(s) 36

Block 4

Plan 051-2644

Quarter Section W5

Estimated Commencement Date: May 1, 2026

Estimated Completion Date: Dec 1, 2027

SECTION 3: SITE REQUIREMENTS

Land Use District: CMR Residential 1 Division: 3

Permitted Use Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

Yes No

Is the proposed development below a licenced dam?

Yes No

Is the proposed development site situated on a slope?

Yes No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

Yes No Don't know Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

Yes No Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site	566.07m		
(2) Area of Building	156.575m		
(3) %Site Coverage by Building (within Hamets)	27.66%		
(4) Front Yard Setback Direction Facing:	1.5000 East	1.5M	yes.
(5) Rear Yard Setback Direction Facing:	6.7618 West	5M.	yes
(6) Side Yard Setback: Direction Facing:	Existing Cabin South	Existing	approved
(7) Side Yard Setback: Direction Facing:	1.5000 North	1.5M	yes.
(8) Height of Building	10.134m	10M.	yes.
(9) Number of Off Street Parking Spaces	n/a		

Other Supporting Material Attached (e.g. site plan, architectural drawing)

site plan; architectural drawings

*CMR okay w/ proposed setbacks

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) %Site Coverage by Building			
(4) Front Yard Setback Direction Facing:	N/A		
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: N/A

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: FEB 27, 2026 ✓
JAMITH HARRIS ✗

[Signature]
Applicant

[Signature]
Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.

IMPORTANT NOTES:

THE DEVELOPMENT OFFICER MAY REFUSE TO ACCEPT AN APPLICATION FOR A DEVELOPMENT PERMIT WHERE THE INFORMATION REQUIRED HAS NOT BEEN SUPPLIED OR WHERE THE QUALITY OF SUCH INFORMATION IS INADEQUATE TO PROPERLY EVALUATE THE APPLICATION.

1. In addition to completing this application form in its entirety, an application for a development permit shall be accompanied by the following information, where relevant:
 - (a) a lot plan at scale to the satisfaction of the Development Officer showing the size and shape of the lot, the front, rear and side yards, any provision for off-street loading and vehicle parking, access to the site, and the location of public utility lines, waterbodies and treed areas;
 - (b) a scaled floor plan and elevations where construction is proposed;
 - (c) at the discretion of the Development Officer, a Real Property Report as proof of location of existing development and a copy of the Duplicate Certificate of Title indicating ownership and encumbrances;
 - (d) if the applicant is not the registered owner, a written statement, signed by the registered owner consenting to the application and approving the applicant as the agent for the registered owner.
2. A non-refundable processing fee of an amount determined by Council shall accompany every application for a development permit.
3. Failure to complete the application form fully and supply the required information, plans and fee may cause delays in processing the application.
4. All development permits shall contain the following informative:

“ANY DEVELOPMENT CARRIED OUT PRIOR TO THE EFFECTIVE DATE OF THE APPROPRIATE DEVELOPMENT PERMIT IS DONE SOLELY AT THE RISK OF THE APPLICANT AND/OR LANDOWNER.”
5. In accordance with the *Municipal Government Act*, a development authority must, within 20 days after the receipt of an application for a development permit, determine whether the application is complete.

A decision on a completed application must be made within 40 days. After the 40-day period the applicant may deem the application refused and file an appeal within 21 days, of the expiry of the decision date.
6. Every approach to a residence is entitled to a civic address sign, supplied by the municipality. If your location does not already have a sign, please contact the MD Administration Office to make arrangements as soon as your approach has been constructed.

CUSTOM ADDITION PLAN FOR THE MOTZ FAMILY

DRAWING LIST

- A1 TITLE PAGE
- A2 SITE PLAN
- A3 LEFT / NORTH ELEVATION
- A4 FRONT / EAST ELEVATION
- A5 REAR / WEST ELEVATION
- A6 LOWER FLOOR ADDITION PLAN
- A7 SECOND FLOOR PLAN
- A8 FOUNDATION PLAN
- A9 CROSS SECTION "A"
- A10 CROSS SECTION "B"
- A11 CROSS SECTION "C"
- A12 ARCHITECTURAL DETAILS
- A13 NOTES & SPECIFICATIONS
- A14 INSULATION DETAILS

**2 STOREY ADDITION
858 SQ. FT. LOWER FLOOR
762 SQ. FT. UPPER FLOOR
= 1620 SQ. FT. TOTAL
WITH 2 DECKS OVER**

NOTE:
 — THIS IS NOT AN ENGINEERED DRAWING UNLESS IT HAS BEEN STAMPED BY AN ALBERTA CERTIFIED STRUCTURAL ENGINEER
 — ROOF AND FLOOR TRUSS MANUFACTURER TO SUPPLY ENGINEERED FLOOR & ROOF TRUSSES & ENGINEERED BEAMS FOR APPROPRIATE LOADS FOR HOUSE DESIGN & FOR LOCATION, CASTLE MOUNTAIN RESORT, AB.
 — MANUFACTURERS OF OTHER STRUCTURAL COMPONENTS TO PROVIDE ENGINEERED DRAWINGS AND SPECIFICATIONS FOR ALL COMPONENTS AND ATTACHMENTS
 — A PROFESSIONAL GEOTECHNICAL REVIEW IS RECOMMENDED TO DETERMINE SOIL TYPE AND BEARING CAPACITY AND SOIL SUITABILITY

LOT 36
 BLOCK 4
 PLAN 051 2644
 36 HUCKLEBERRY WAY
 CASTLE MOUNTAIN, ALBERTA

**KAREN
PATCHING
DESIGN
&
DRAFTING LTD.**
 3308- 29 St. South
 Lethbridge, Alberta
 T1K 7J9
 PH: (403) 894-0800
 karen@patching.ca

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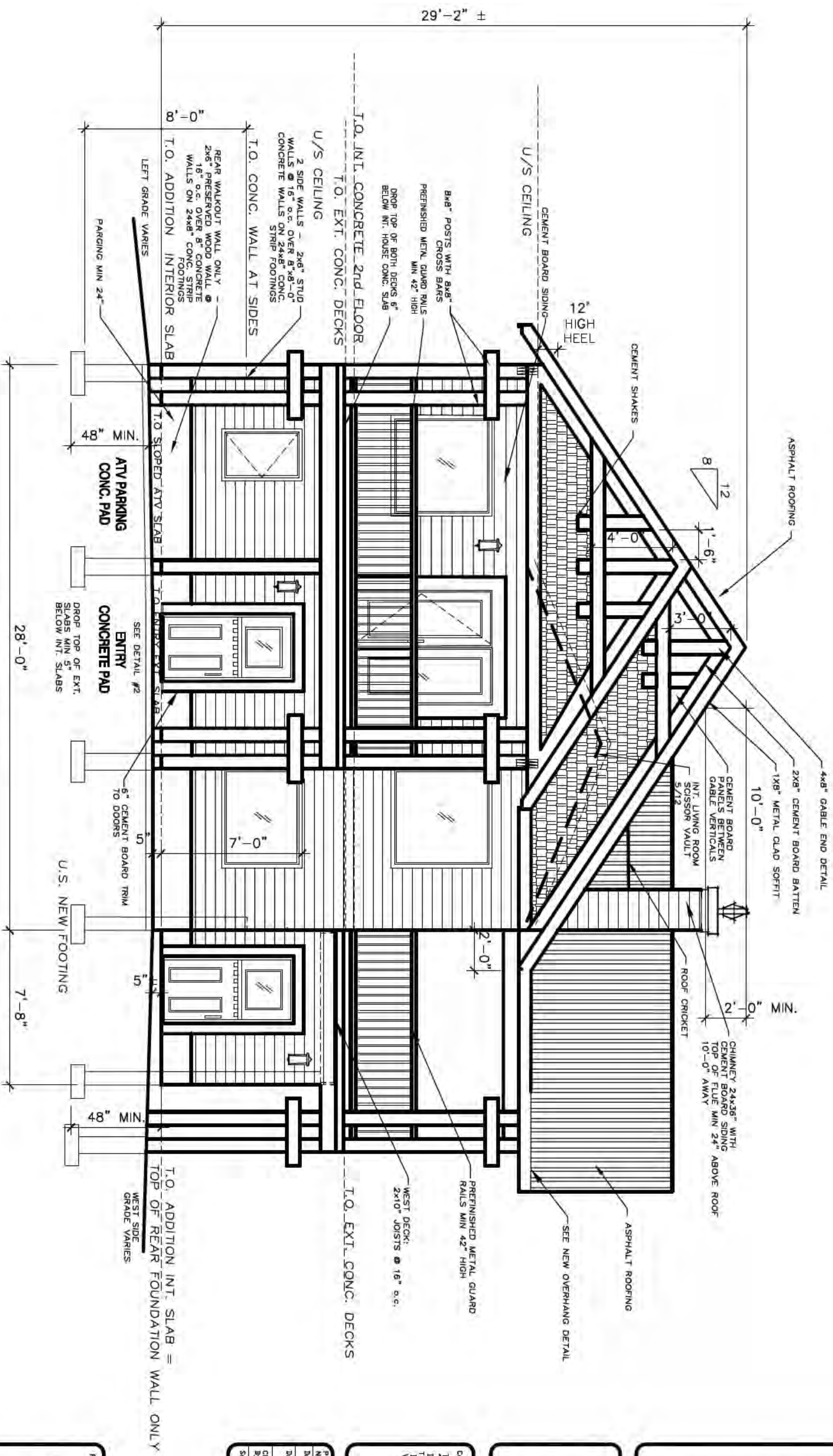
Project No	
Date	MAY 2024
Drawn	KAP
Checked By	KAP
Scale	N.T.S.

Revisions	
No.	Date

Project:
**CUSTOM
 ADDITION PLAN FOR
 THE MOTZ FAMILY
 CASTLE MOUNTAIN**

TITLE PAGE

VERSION 24
 MARCH 27, 2026
 A1



LEFT / NORTH ELEVATION

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karen@patching.ca

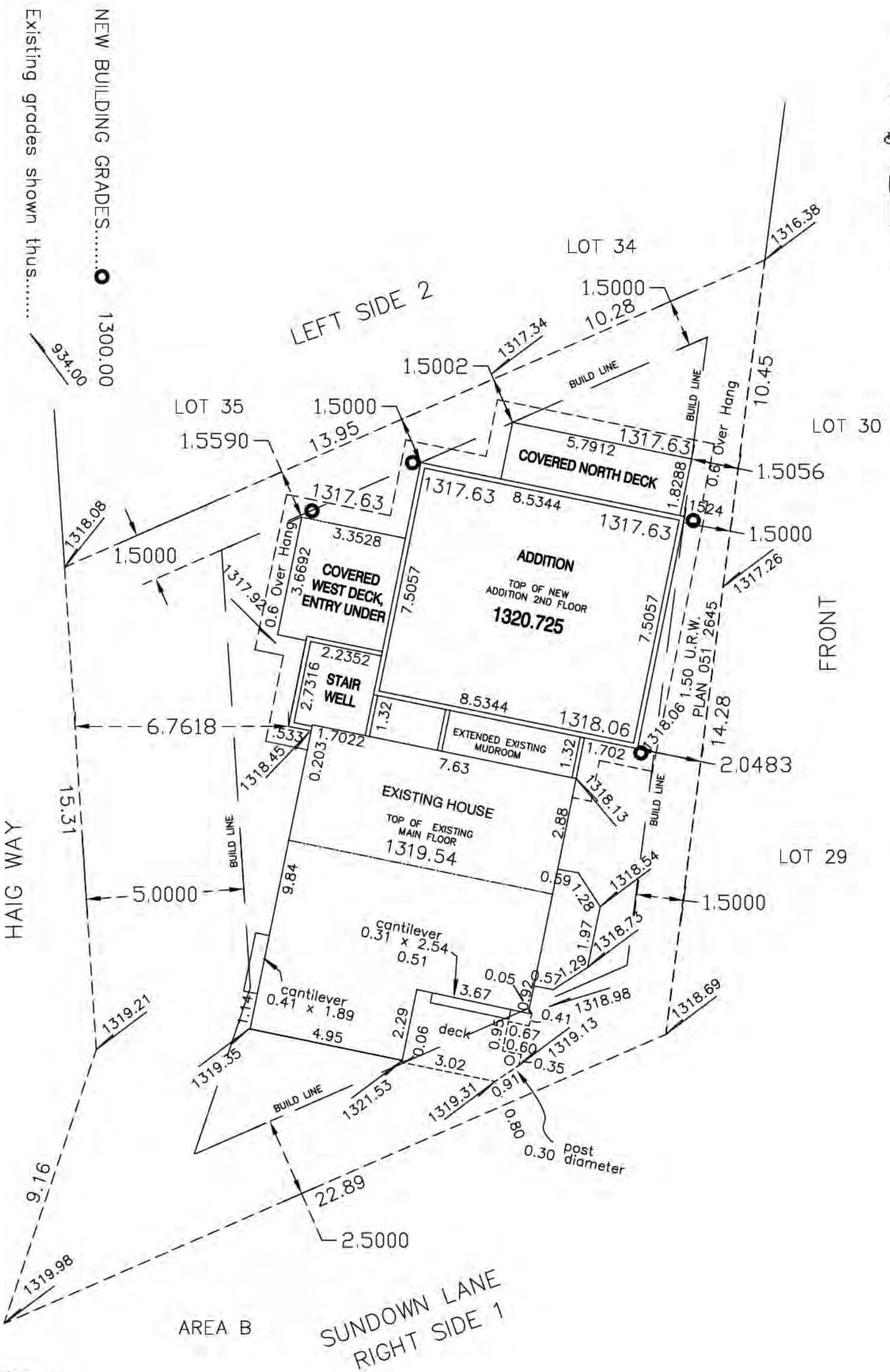
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Date	MAY 2024
Drawn By	KAP
Checked By	KAP
Scale	3/16" = 1'-0"

Project:
**CUSTOM
ADDITION PLAN FOR
THE MOTZ FAMILY
CASTLE MOUNTAIN**

**LEFT / NORTH
ELEVATION**

A3



VERTICAL BUILDING GRADES SEE LEFT & RIGHT ELEVATIONS

NEW BUILDING GRADES.....● 1300.00
Existing grades shown thus.....

LOT 36, BLOCK 4, PLAN 051 2644
36 HUCKLEBERRY WAY

VERSION 24
REVISED
MARCH 27, 2026

KAREN PATCHING DESIGN & DRAFTING LTD.
46 Tudor Blvd. South
Lehrbridge, Alberta
T1K 5C2
PH: (403) 381-1049
karen@patching.ca

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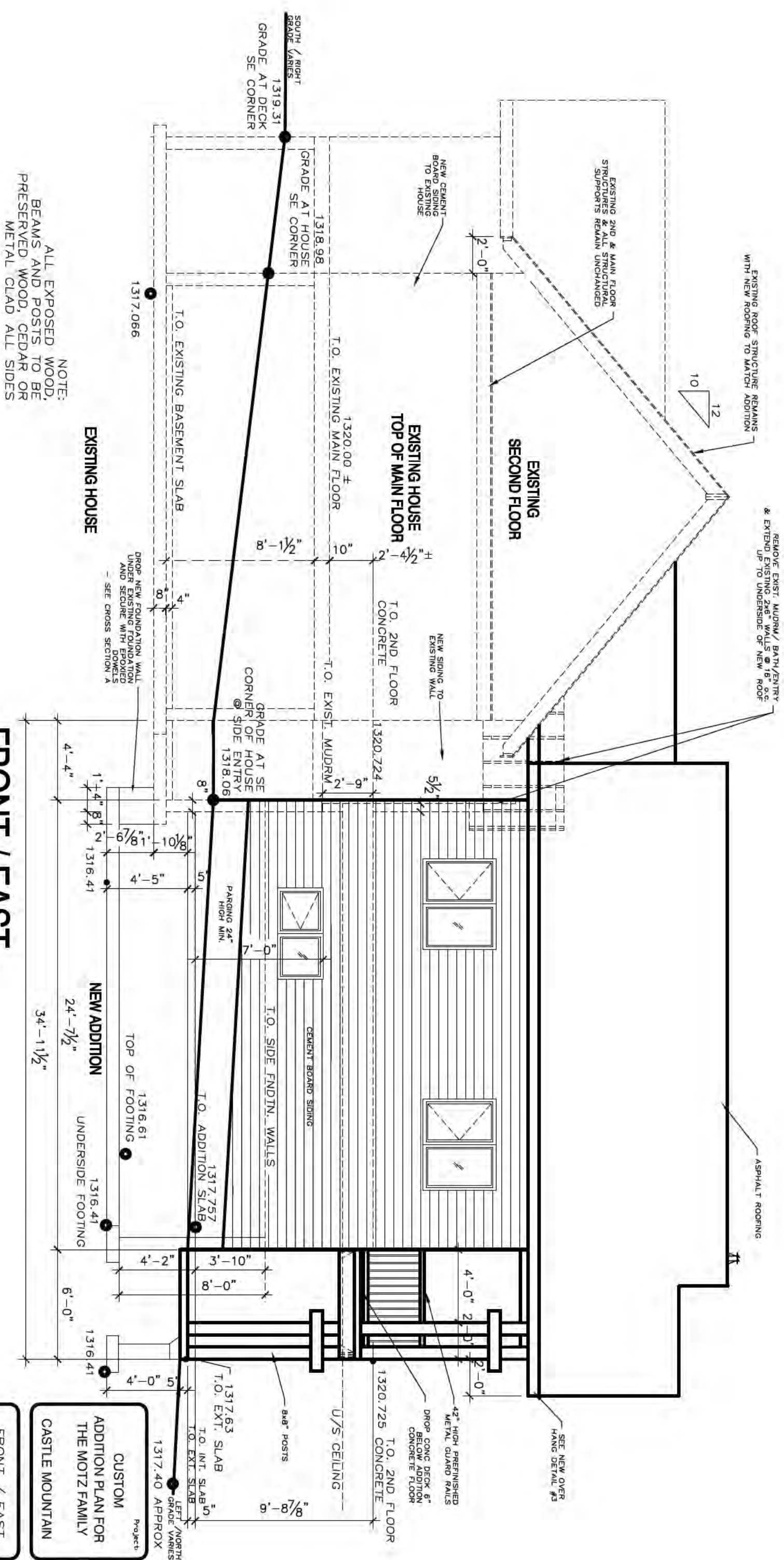
Project	MAY 2024
Date	
Drawn	KAP
Checked	KAP
By	
Scale	N.T.S.

No.	By	Date
H1	KAP	02-26-07

Project:
**CUSTOM
ADDITION PLAN FOR
THE MOTZ FAMILY
CASTLE MOUNTAIN**

SITE PLAN

A2



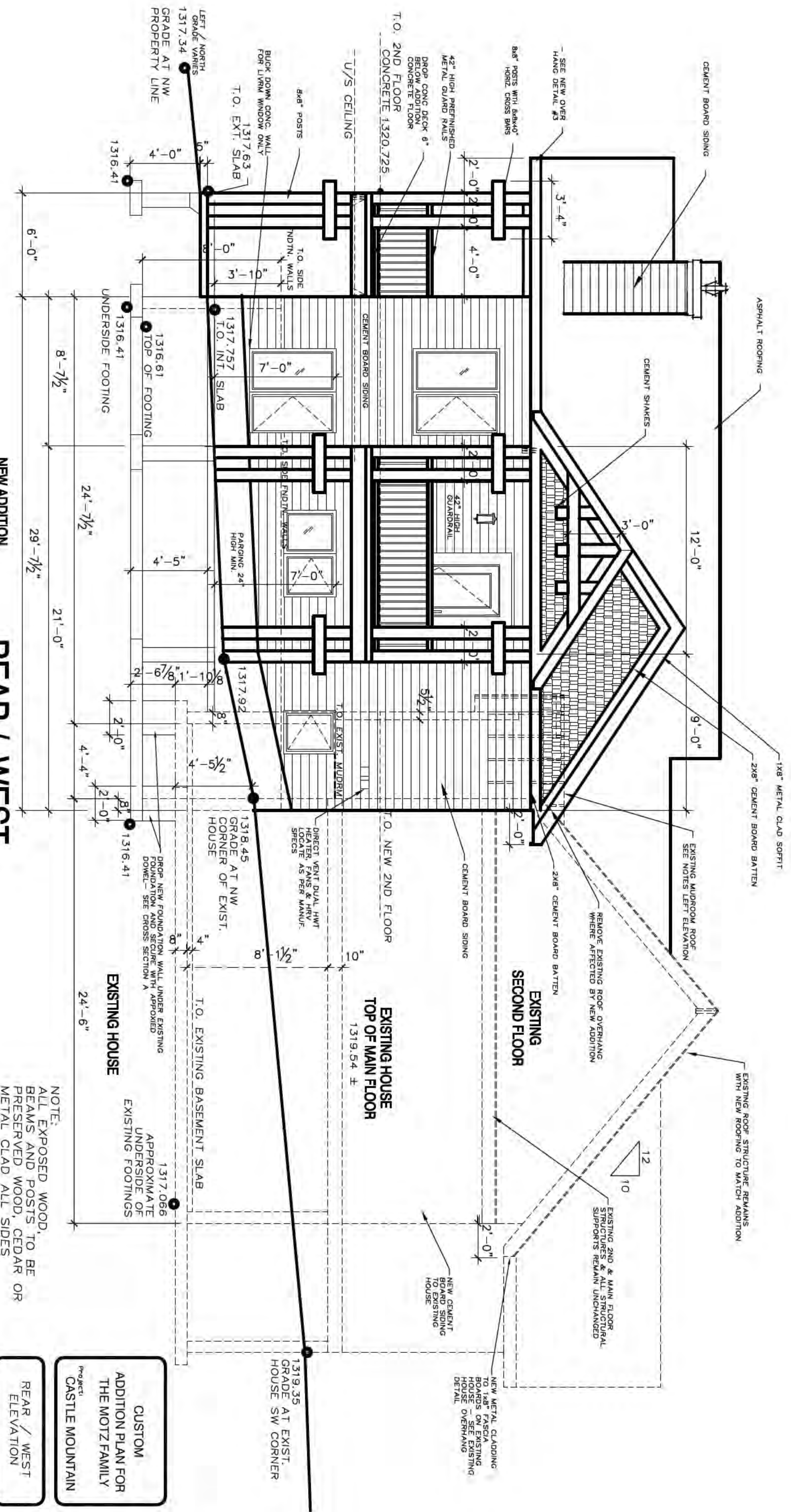
NOTE:
 ALL EXPOSED WOOD,
 BEAMS AND POSTS TO BE
 PRESERVED WOOD, CEDAR OR
 METAL CLAD ALL SIDES

FRONT / EAST ELEVATION

Project
 CUSTOM
 ADDITION PLAN FOR
 THE MOTZ FAMILY
 CASTLE MOUNTAIN

FRONT / EAST
 ELEVATION

A4



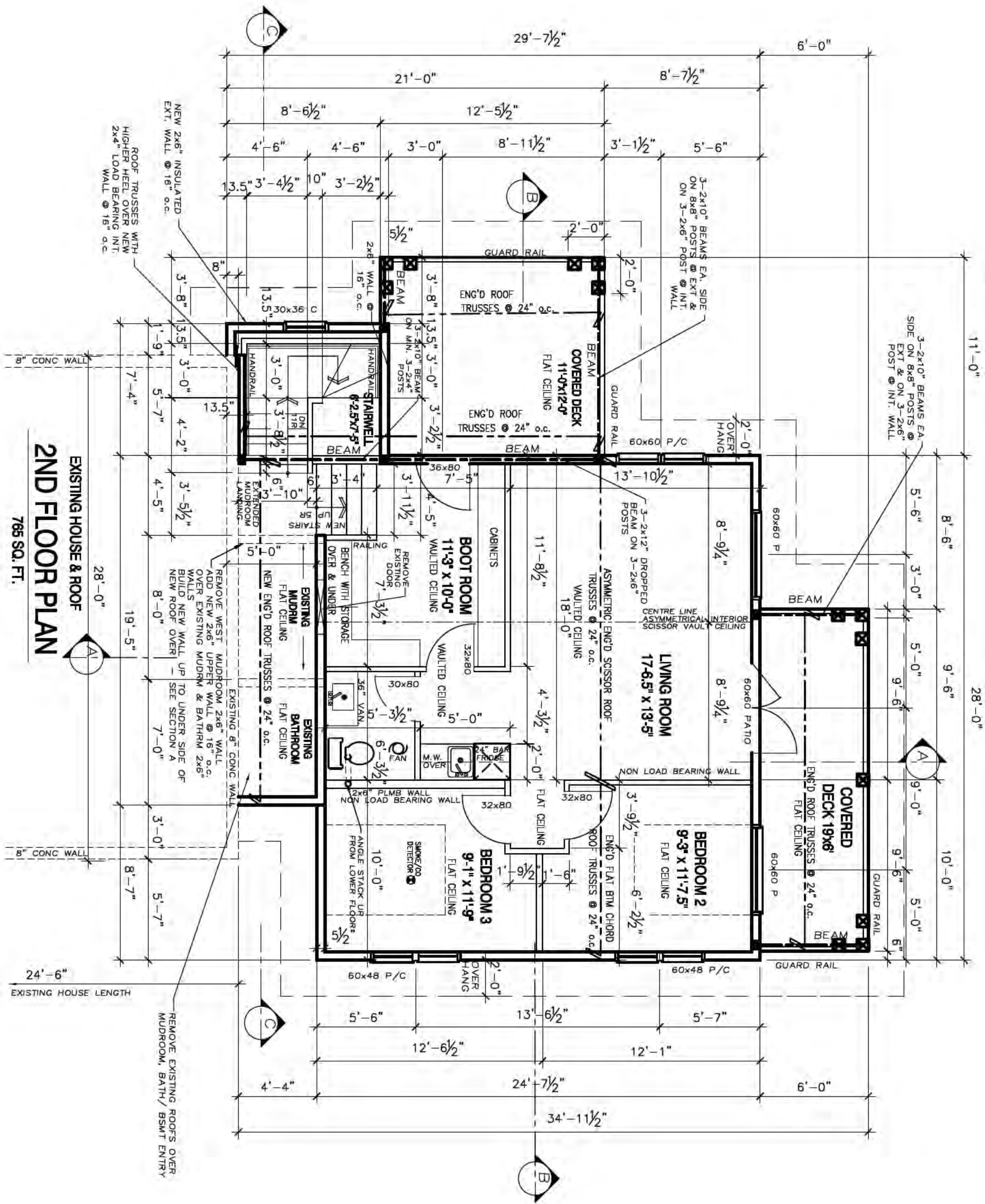
**REAR / WEST
ELEVATION**

NOTE:
ALL EXPOSED WOOD, TO BE
PRESERVED WOOD, CEDAR OR
METAL CLAD ALL SIDES

CUSTOM
ADDITION PLAN FOR
THE MOTZ FAMILY
Project
CASTLE MOUNTAIN

REAR / WEST
ELEVATION

A5



2ND FLOOR PLAN

765 SQ. FT.



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Project No.	MAY 2024
Drawn By:	KAP
Checked By:	KAP
Scale:	3/16" = 1'-0"

Revisions	
No.	Date

Project: **CUSTOM**
ADDITION PLAN FOR THE MOTZ FAMILY
CASTLE MOUNTAIN

2ND FLOOR PLAN

A7

GENERAL NOTES & SPECIFICATIONS:

GENERAL:

1. These drawings shall not be scaled.
2. All changes, errors or omissions to be reported to designer, Karen Patching and to the Contractor prior to changes being implemented or built.
3. All work and materials shall conform with the latest edition of the Alberta Building Code (ABC), The Alberta Plumbing and Drainage Act, The Canadian Electrical Code, The Gas Code, and all other Provincial, National, and Civil applicable codes, rules and regulations.
4. All wood studs, beams, lintels, joist, rafters and columns shall be #2 Spruce-Pine-Fir (SPF) or better.

FRAMING:

1. Provide flashing, interior damp proofing and vapour barrier at junctions, openings, valleys and edges as required.
2. All exterior walls where mono roof trusses are attached are to be sealed and papered before installing trusses
3. Provide adequate ventilation within roof space or attic.
4. All handrails and guards shall conform to ABC.
5. Floor and roof truss systems to be designed and verified by a CSA approved truss manufacturer with an Alberta Professional Structural Engineer's stamp prior to construction.
6. Beams are to be designed and engineered by supplier.
7. Provide backing in walls where accessories are mounted.
8. Stairs, where indicated, are to be calculated by builder prior to construction to ensure proper rise and run sizes and adequate headroom clearance (min. 6'6") at stairwell openings and that joist/truss lengths be adjusted as required for proper fit.

FINISHING:

1. Attic access to be weather stripped and insulated.
2. All doors and window rough opening sizes are approximate; standard sizes shall provided by supplier where possible.
3. Contractor to consult owners on interior and exterior finishes and colours.

FOUNDATIONS:

1. Grade will require adjustment to fit the site. City &/or County regulations for drainage shall apply.
2. All concrete footings & piles to below frost line at levels stated on plans.
3. All standard concrete walls shall have a 56 day compressive strength of 32 MPa @ 56 days as per CSA, and use type 50, sulphate resistant cement, unless soils tests permit otherwise. Minimum concrete cover for reinforcement shall be 1 1/2" for outside faces of walls, 2" for formed surfaces in contact with earth after form removal, and 3" for concrete poured against earth.

PLUMBING, ELECTRICAL, MECHANICAL:

1. Provide combustion air and fresh air to furnace.
2. All smoke detectors to be hard wired in series to electrical.
3. Plumbing, heating and electrical designs and heat loss calculations are to be supplied by mechanical contractors and confirmed with client prior to construction.
4. Bathroom and kitchen fans and dryers are to be vented to the exterior.
5. All plumbing fixtures and kitchen and bath cabinets are approximate sizes; contractor to make adjustments as necessary.

ALL STRUCTURAL COMPONENTS IN THIS BUILDING ARE TO BE SPECIFIED BY A QUALIFIED ENGINEER OF THE MANUFACTURER, SUPPLIER AND/OR ENGAGED BY THE OWNER

THE SPECIFICATIONS & NOTES SHEET ATTACHED TO EACH SET OF DRAWINGS TITLED "NOTES & SPEC" FORMS A MAJOR PART OF THE SPECIFICATIONS FOR THIS PROJECT & MUST BE READ AND FOLLOWED BY THE BUILDER/CONTRACTOR AND ALL SUB-TRADES AND IS NOT TO BE REMOVED FROM THE PLANS

STRUCTURAL COMPONENTS:

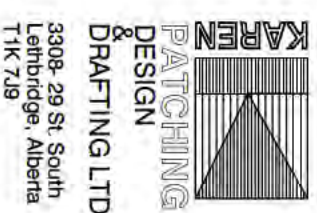
1. CONCRETE, REINFORCING, FILL & COMPACTION ARE TO BE SPECIFIED BY A QUALIFIED STRUCTURAL ENGINEER WITH EXPERIENCE IN PRESERVED WOOD FOUNDATION BUILDING SYSTEMS CHOSEN BY OWNERS.
2. ALL BEAMS, FLOOR AND CEILING TRUSSES OR JOISTS TO BE VERIFIED & ENGINEERED BY MANUFACTURER, SUPPLIER OR BY ENGINEER ENGAGED BY OWNER.
3. ALL FOOTINGS OF THE ADDITION ARE TO BE A MINIMUM OF 48" BELOW GRADE ACCORDING TO THE ALBERTA BUILDING CODE. NO FOOTING MAY SIT ON DISTURBED SOIL OR FILL.
4. SOIL TESTING IS RECOMMENDED BY THE DESIGNER TO VERIFY SUBSOILS & TO ENSURE ADEQUATE STABILITY FOR ALL FOOTINGS & SLABS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

BUILDING DESIGN CRITERIA:

ALL STRUCTURAL COMPONENTS MUST BE MEET OR EXCEED THE RECOMMENDED GROUND SNOW LOAD, ASSOCIATED RAIN LOAD, ROOF LIVE LOAD, FLOOR LIVE LOAD AND WIND LOAD REQUIRED FOR THIS STRUCTURE IN ITS GIVEN GEOGRAPHIC LOCATION AND ORIENTATION.

NOTE:

THIS IS NOT AN ENGINEER REVIEWED SET OF DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNERS AND GENERAL CONTRACTOR TO ENSURE THAT SUPPLIERS AND/OR THE CONTRACTORS ENGAGE ENGINEERS TO CONFIRM ALL LOAD BEARING AND STRUCTURAL COMPONENTS. PRE-ENGINEERED, APPROVED COMPONENTS MAY BE USED WHERE REQUIRED. GEOTECHNICAL SURVEY REQUIRED BY QUALIFIED ENGINEER TO APPROVE FOUNDATION & FOOTING TYPE APPROPRIATE FOR SOILS AND BEARING CONDITIONS FOUND ON SITE.



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karen@patching.ca

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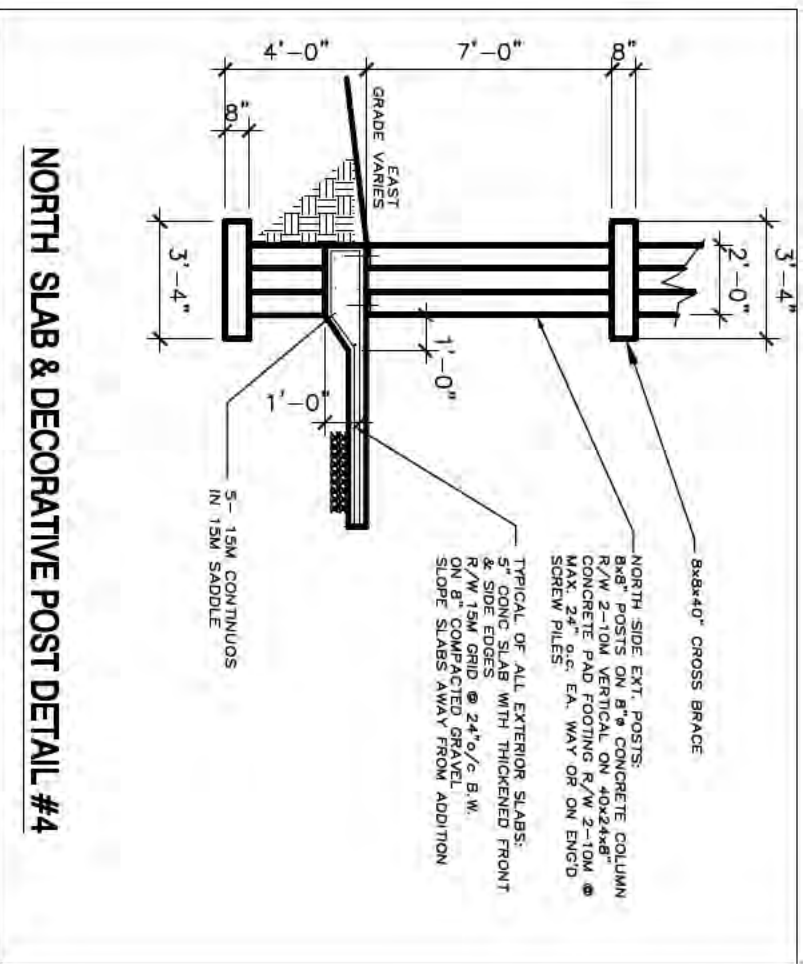
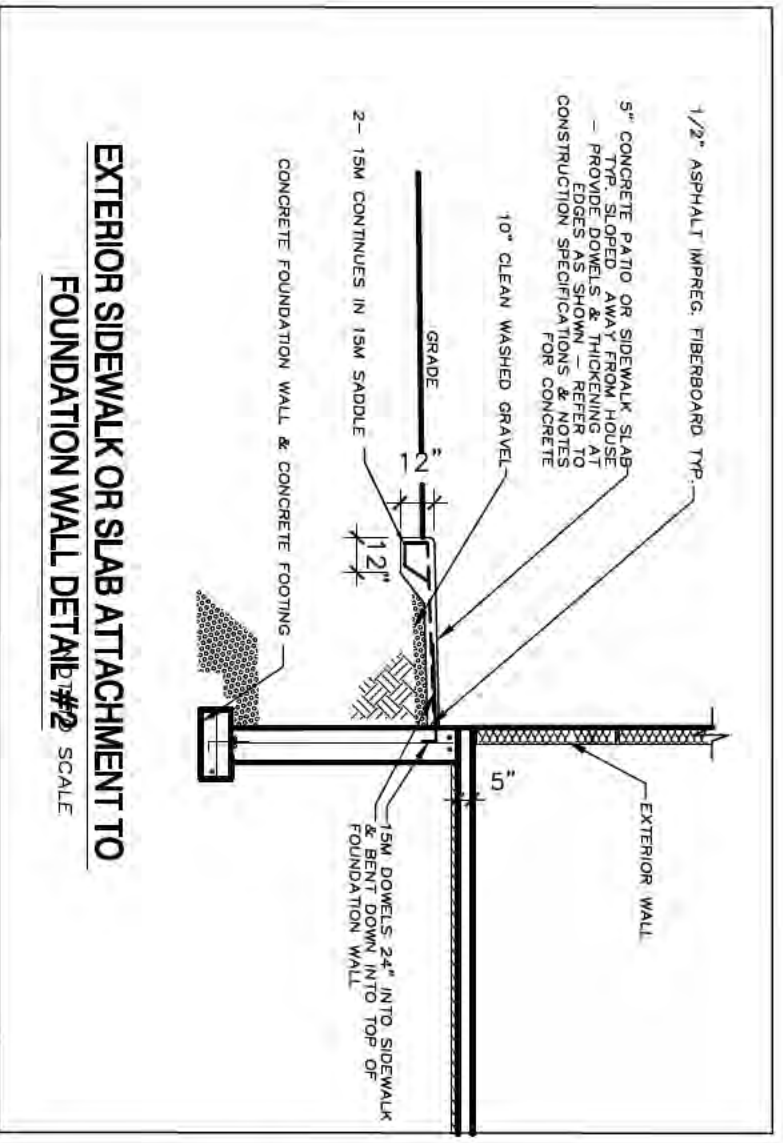
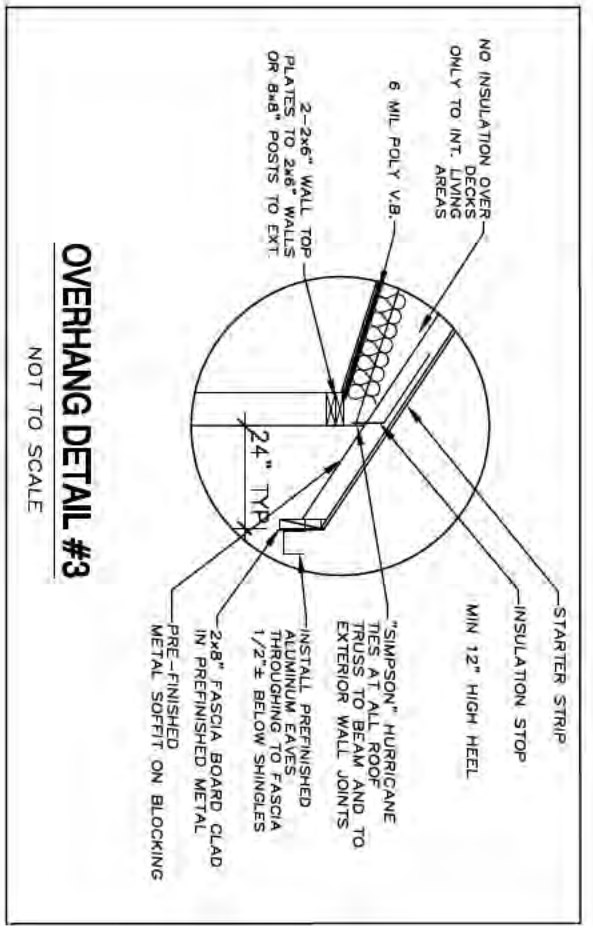
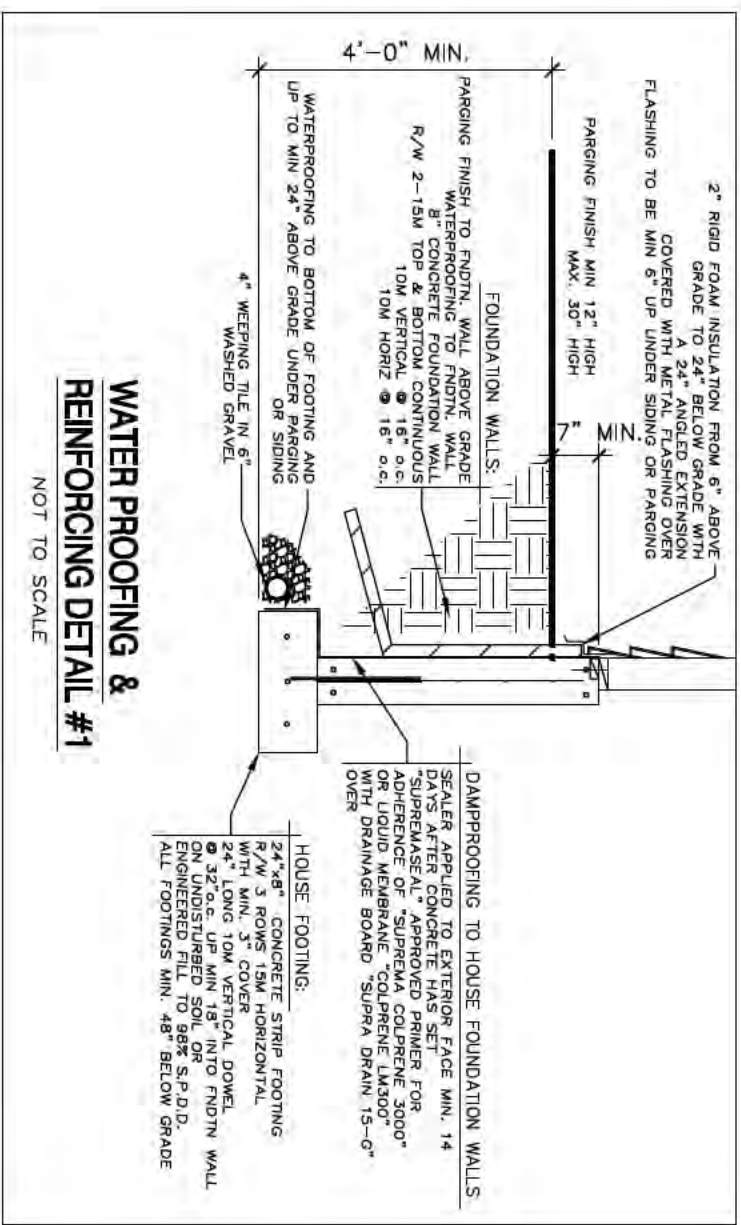
Project No:	MAY 2024
Date:	
Drawn By:	KAP
Checked By:	KAP
Scale:	3/16" = 1'-0"

Revisions		
No.	By	Date

Project:
**CUSTOM
ADDITION PLAN FOR
THE MOTZ FAMILY
CASTLE MOUNTAIN**

**NOTES &
SPECIFICATIONS**

**VERSION 24
MARCH 27, 2026
A13**



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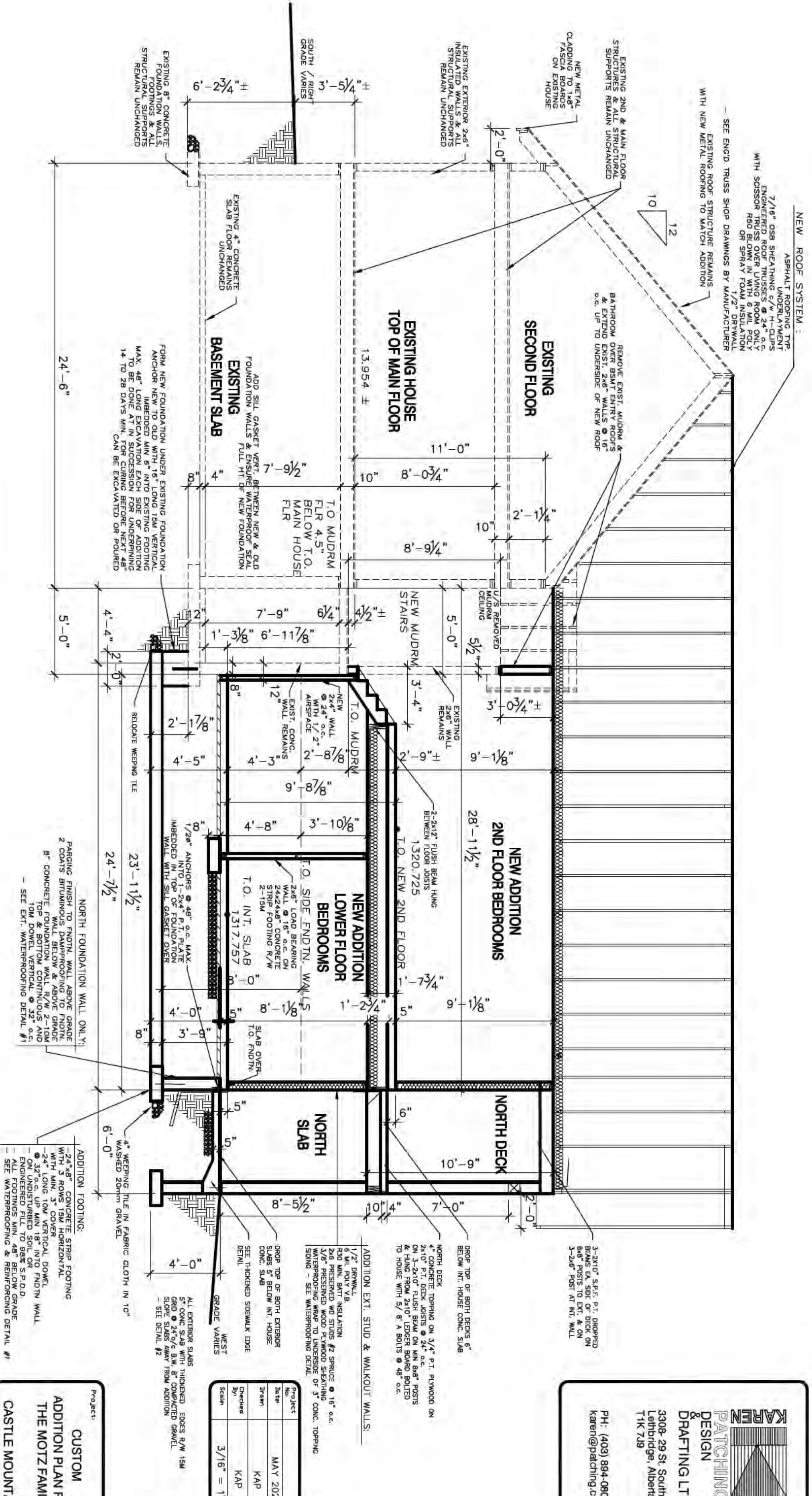
Project No	
Date	MAY 2024
Drawn By	KAP
Checked By	KAP
Scale	3/16" = 1'-0"

Revisions	
No.	Date

Project: **CUSTOM**
 ADDITION PLAN FOR THE MOTZ FAMILY
 CASTLE MOUNTAIN

ARCHITECTURAL DETAILS

A12



CROSS SECTION A

KAPEN PATCHING DESIGN & DRAFTING LTD.
 3308-29 St South
 Lethbridge, Alberta
 T1K 7J9
 PH: (403) 894-0800
 karen@patching.ca

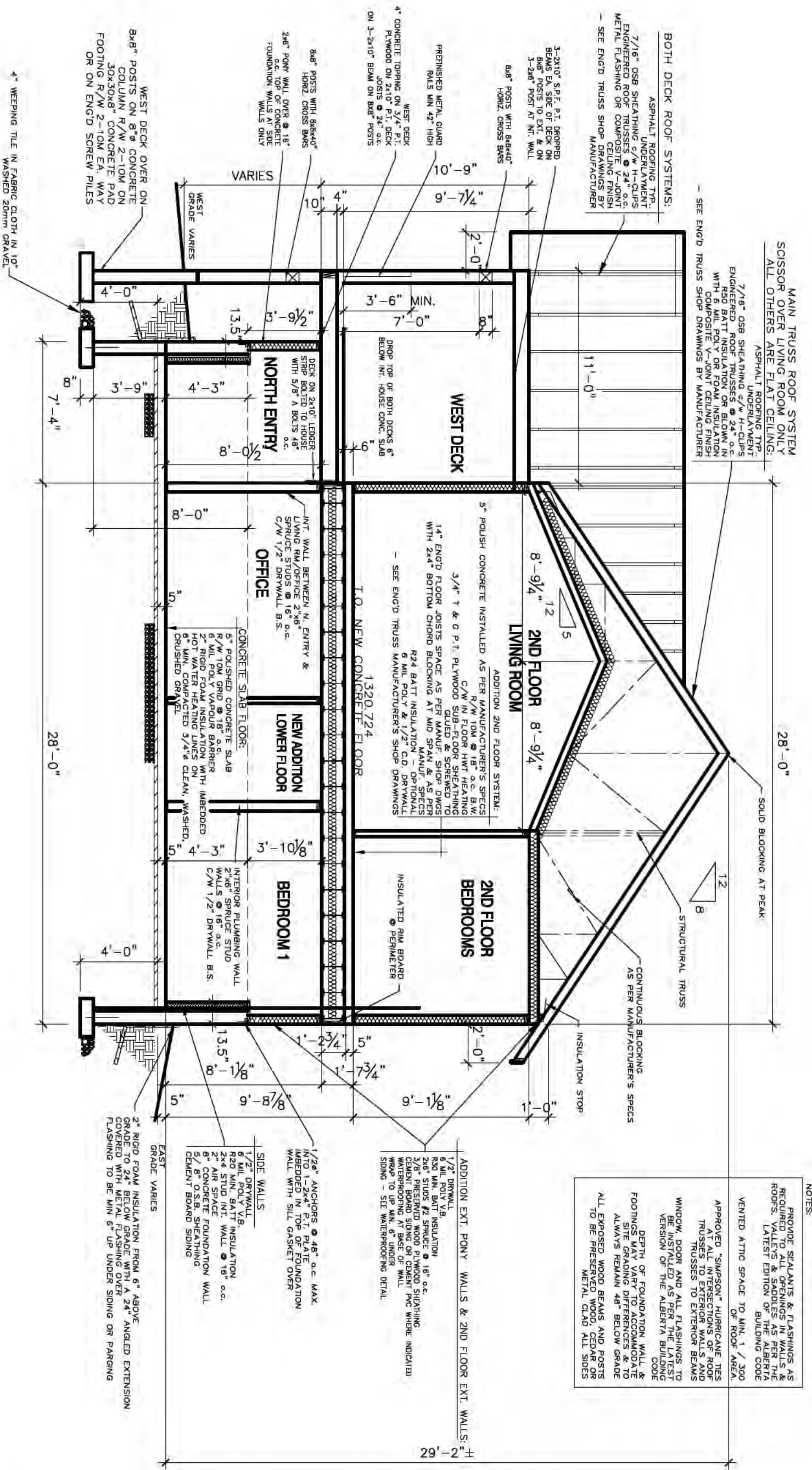
Project No	MAY 2024
Drawn By	KAP
Checked By	KAP
Scale	3/16" = 1'-0"

Project: **CUSTOM ADDITION PLAN FOR THE MOTZ FAMILY CASTLE MOUNTAIN**

CROSS SECTION A

A9

NOTE: ADD AN EXTRA 2 REBAR VERT. TO CONCRETE FOUNDATION WALLS UNDER ALL LOAD BEARING POSTS OVER - 1TP.



CROSS SECTION B

NOTE: ADD AN EXTRA 2 REBAR VERT. TO CONCRETE FOUNDATION WALLS UNDER ALL LOAD BEARING POSTS OVER - TYP.

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3308-29 St South
Lethbridge, Alberta
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PH: (403) 894-0800
karen@patching.ca

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Project No	MAY 2024
Date	
Drawn By	KAP
Checked By	KAP
Scale	3/16" = 1'-0"

Project: **CUSTOM**
ADDITION PLAN FOR THE MOTZ FAMILY
CASTLE MOUNTAIN

CROSS SECTION B

A10

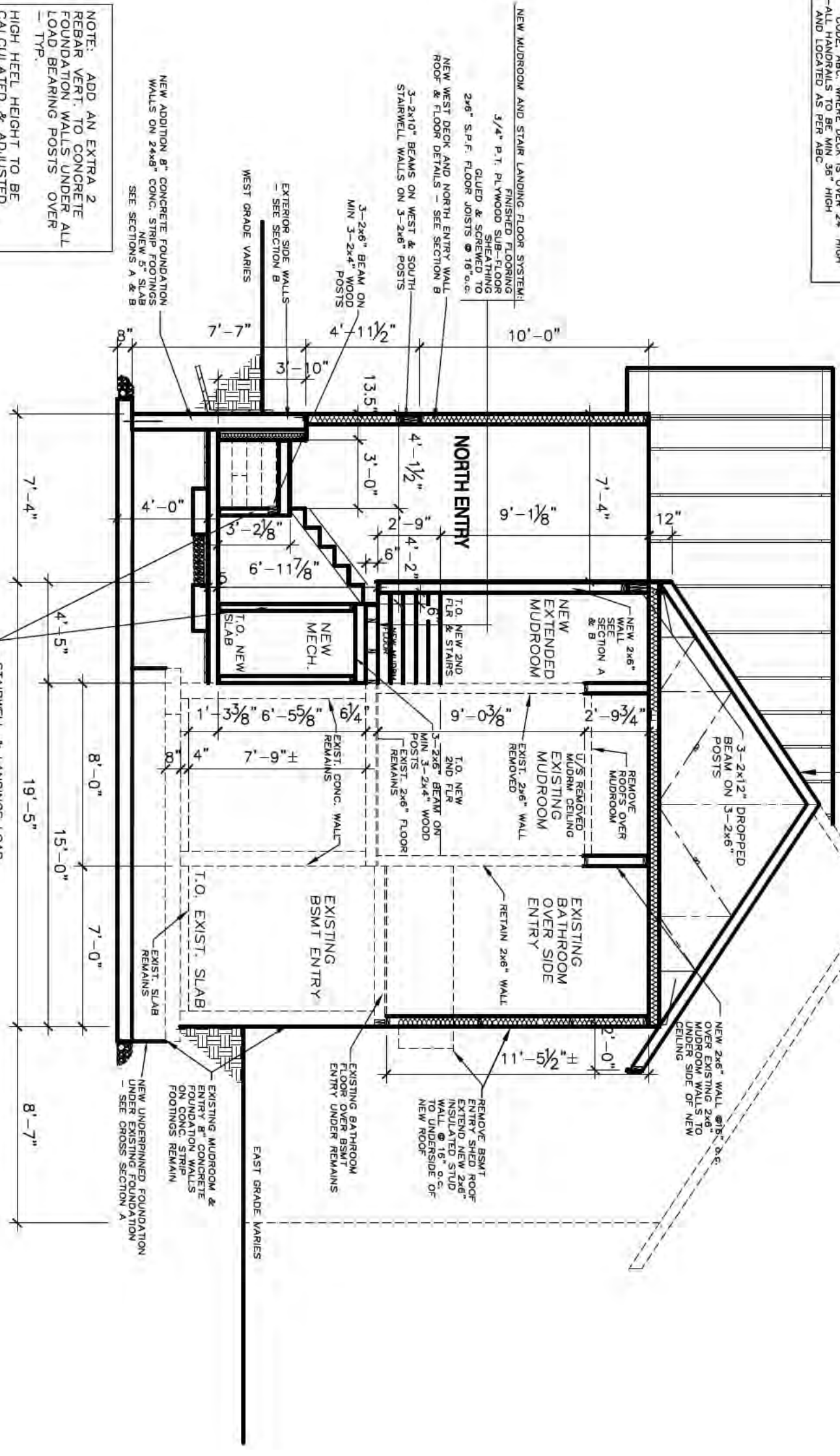
INTERIOR & EXTERIOR STAIRS:

- RUN OF 1" PLYWOOD, 10" EXCLUSIVE OF 1" NOSING = 11" TREADS MIN.
- RISERS OF 1/2" PLYWOOD, 7/8" MAX. RISE
- READS & RISERS SHALL HAVE UNIFORM RISE & RUN IN THE SAME FLIGHT
- STRINGERS TO BE MIN. 2"x10" SELECT SPRUCE MIN. HEADROOM 8'-5"
- ALL GUARD RAILS TO BE MIN. 42" HIGH AS PER LATEST VERSION OF THE ALBERTA BUILDING CODE, ABC, WHERE DECK IS OVER 24" HIGH
- ALL HANDRAILS TO BE MIN. 36" HIGH AND LOCATED AS PER ABC

NEW MUDROOM ROOF SYSTEM:

- ASPHALT ROOFING TYP. UNDERLAMENT
- 7/16" OSB SHEATHING @ 24" o.c. WITH FLAT BOTTOM CHORD/FLAT CEILING
- R50 BLOWN IN WITH 6 MIL POLY OR SPRAY FOAM INSULATION
- 1/2" DRYWALL

- SEE ENCD TRUSS SHOP DRAWINGS BY MANUFACTURER



CROSS SECTION C

NOTE: ADD AN EXTRA 2 REBAR VERT. TO CONCRETE FOUNDATION WALLS UNDER ALL LOAD BEARING POSTS OVER - TYP.

HIGH HEEL HEIGHT TO BE CALCULATED & ADJUSTED WHERE REQUIRED BY TRUSS MANUFACTURER TO ACCOMMODATE SCISSOR TRUSSES & MIN R30 BAIT INSULATION

ENG'D STRUCTURAL TRUSS - SEE TRUSS SHOP DRAWINGS FOR EXACT LOCATION OF STRUCTURAL ROOF TRUSSES EA. END OF TRUSS C/W 3-2x6" WOOD POSTS WITH SOLID BLOCKING THRU TO TOP OF FOUNDATION WALL - SEE FOUNDATION PLAN FOR REBAR & PAD FOOTINGS

KAPEN PATCHING DESIGN & DRAFTING LTD.

3308-29 St. South
Lethbridge, Alberta
T1K 7J9

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Project No.	MAY 2024
Drawn By:	KAP
Checked By:	KAP
Scale	3/16" = 1'-0"

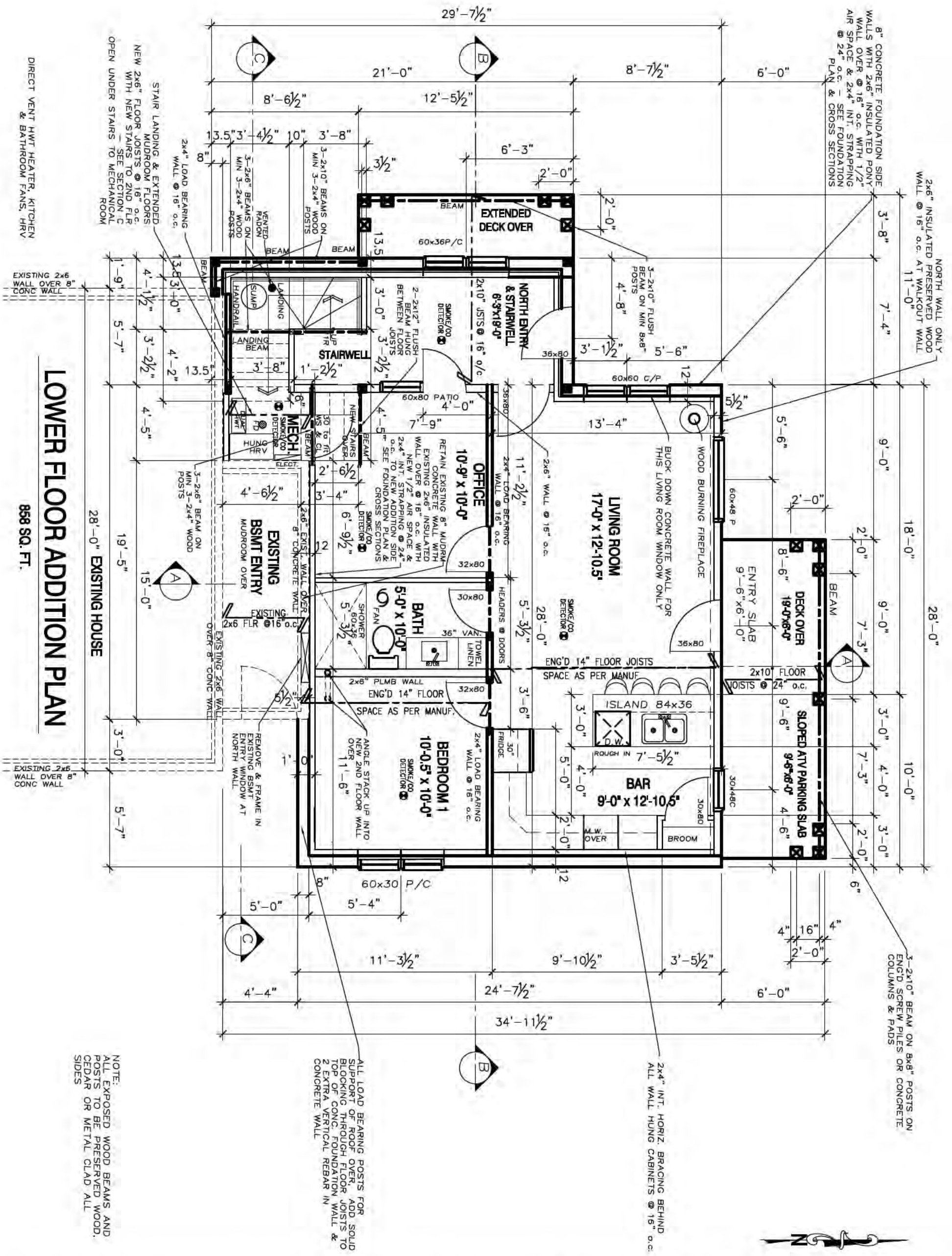
Revisions	
No.	Date

Project:

CUSTOM
ADDITION PLAN FOR
THE MOTZ FAMILY
CASTLE MOUNTAIN

CROSS SECTION C

A11



LOWER FLOOR ADDITION PLAN

858 SQ. FT.

NOTE:
ALL EXPOSED WOOD BEAMS AND POSTS TO BE PRESERVED WOOD, CEDAR OR METAL CLAD ALL SIDES

ALL LOAD BEARING POSTS FOR SUPPORT OF ROOF OVER, ADD BLOCKING THROUGH FLOOR JOISTS TO TOP OF CONC. FOUNDATION WALL & 2 EXTRA VERTICAL REBAR IN CONCRETE WALL

2x4" INT. HORIZ. BRACING BEHIND ALL WALL HUNG CABINETS @ 16" o.c.

3-2x10" BEAM ON 8x8" POSTS ON ENG'D SCREW PILES OR CONCRETE COLUMNS & PADS



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Project No:	MAY 2024
Date:	
Drawn By:	KAP
Checked By:	KAP
Scale:	3/16" = 1'-0"

No.	By	Date

Project: **CUSTOM**
ADDITION PLAN FOR THE MOTZ FAMILY
CASTLE MOUNTAIN

LOWER FLOOR ADDITION PLAN
A6

STAIR LANDING & EXTENDED MUDROOM FLOORS @ 16" o.c. WITH NEW STAIRS TO 2ND FLR - SEE SECTION C OPEN UNDER STAIRS TO MECHANICAL ROOM

DIRECT VENT HWT HEATER, KITCHEN & BATHROOM FANS, HRV

EXISTING 2x6 WALL OVER 8" CONC WALL

8" CONCRETE FOUNDATION SIDE WALLS WITH 2x6" INSULATED PONY WALL OVER @ 16" o.c. WITH 1/2" AIR SPACE & 2x4" INT. STRAPPING @ 24" o.c. - SEE FOUNDATION PLAN & CROSS SECTIONS

2x6" INSULATED PRESERVED WOOD WALL @ 16" o.c. AT WALKOUT WALL 1'-0"

28'-0"

18'-0"

9'-0"

7'-4"

3'-8"

6'-0"

8'-7/2"

21'-0"

12'-5/2"

8'-6 1/2"

29'-7 1/2"

6'-3"

2'-0"

3'-8"

10"

4 1/2"

3'-8"

3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

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3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

3'-2x10" BEAMS ON MIN 3-2x4" WOOD POSTS

9'-0"

7'-3"

2'-0"

18'-0"

9'-0"

7'-0"

2'-0"

11'-2 1/2"

2x6" LOAD BEARING WALL @ 16" o.c.

2x6" LOAD BEARING WALL @ 16" o.c.

2x6" LOAD BEARING WALL @ 16" o.c.

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2x6" LOAD BEARING WALL @ 16" o.c.

2x6" LOAD BEARING WALL @ 16" o.c.

10'-0"

4'-0"

3'-0"

7'-3"

4'-6"

9'-6" x 6'-0"

9'-6" x 6'-0"

9'-6" x 6'-0"

9'-6" x 6'-0"

9'-6" x 6'-0"

9'-6" x 6'-0"

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6'-0"

3'-5 1/2"

9'-10 1/2"

11'-3 1/2"

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5'-0"

5'-0"

34'-11 1/2"

24'-7 1/2"

11'-3 1/2"

4'-4"

4'-4"

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11'-3 1/2"

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34'-11 1/2"

24'-7 1/2"

11'-3 1/2"

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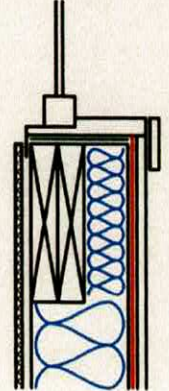
4'-4"

34'-11 1/2"

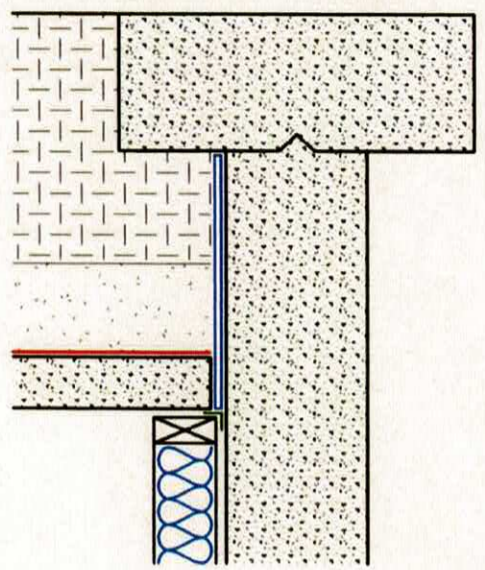
24'-7 1/2"

11'-3 1/2"

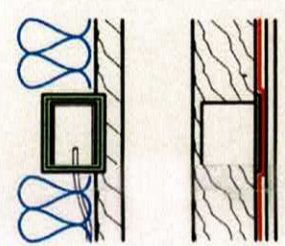
TYPICAL WINDOW/DOOR JAMB DETAIL



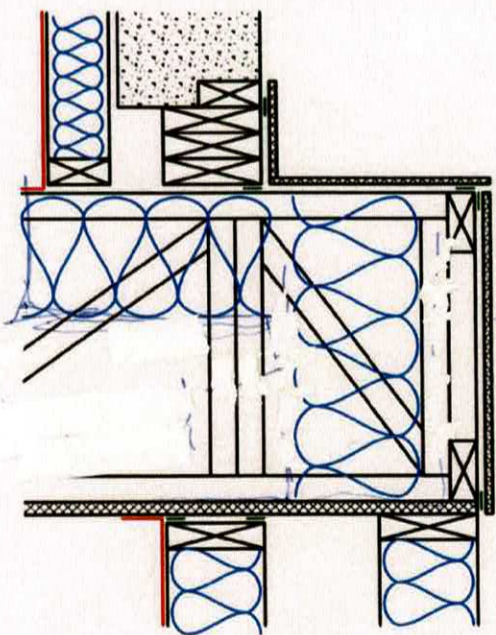
SLAB EDGES IN WALKOUT & HEATED SLABS DETAIL



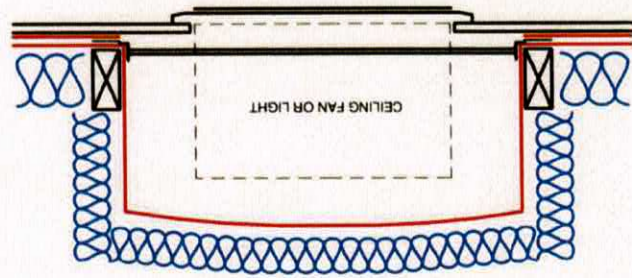
TYPICAL OUTLET BOX DETAIL



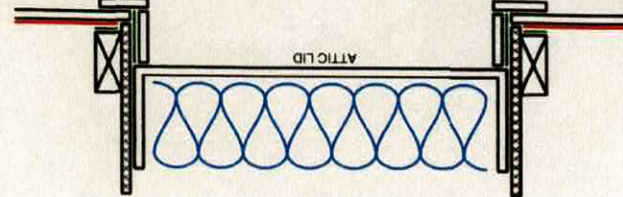
CANTILEVER DETAIL



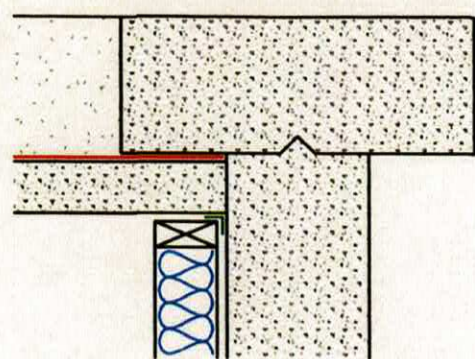
CEILING FAN/ATTIC POT LIGHT DETAIL



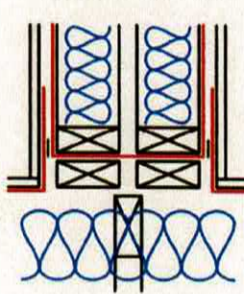
ATTIC HATCH DETAIL



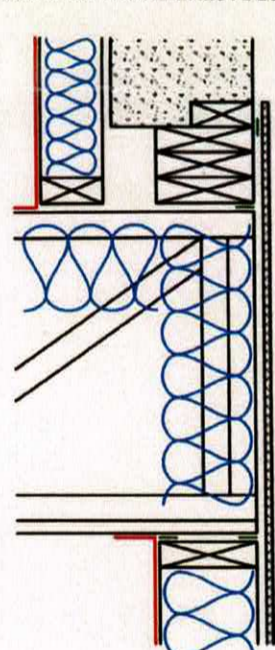
SLAB/FOOTING JUNCTION DETAIL



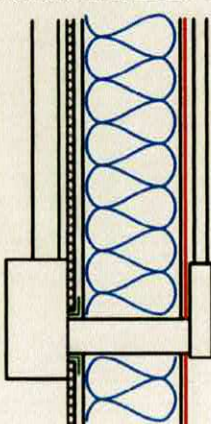
PARTY WALL DETAIL



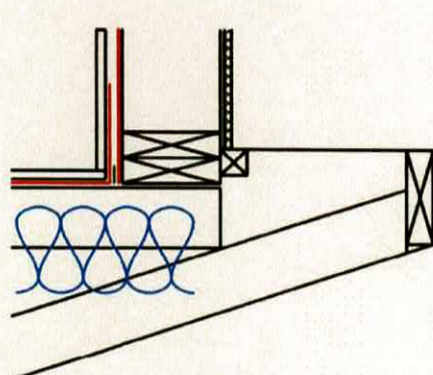
TOP OF BASEMENT WALL MAIN FLOOR JUNCTION DETAIL



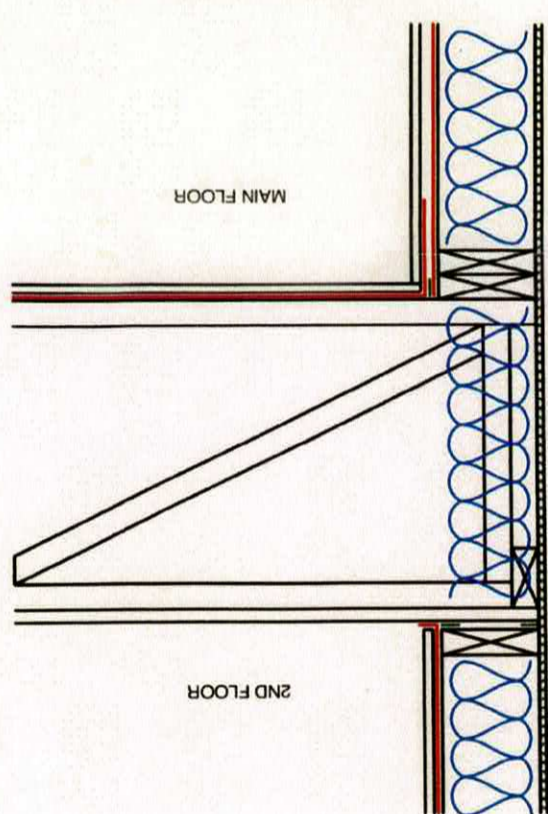
ELECTRIC METER/PIPE/DUCT IN INSULATED WALL DETAIL



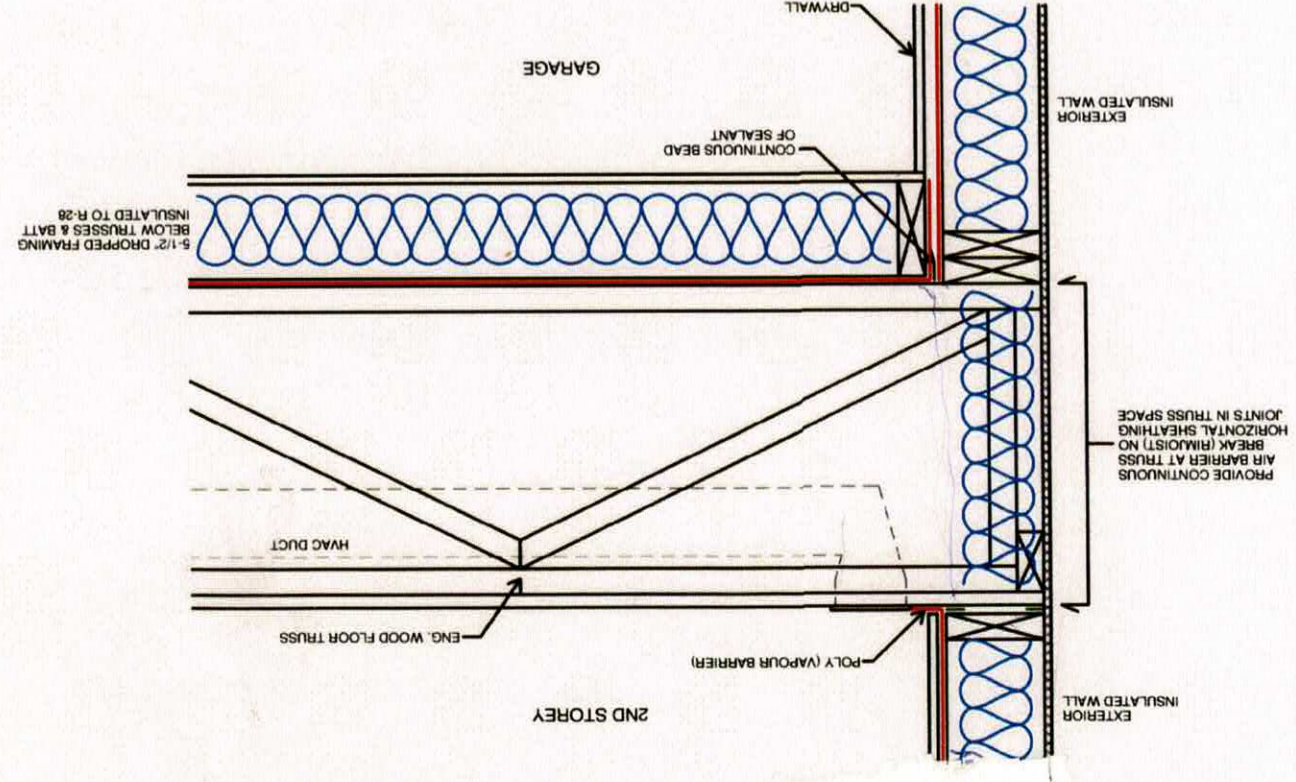
EAVES/TOP OF WALL DETAIL



UPPER FLOOR RIM JOIST DETAIL

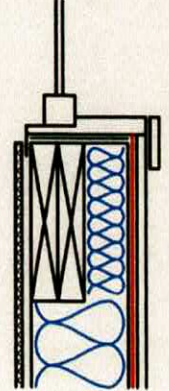


BONUS ROOM OVER ATTACHED GARAGE DETAIL

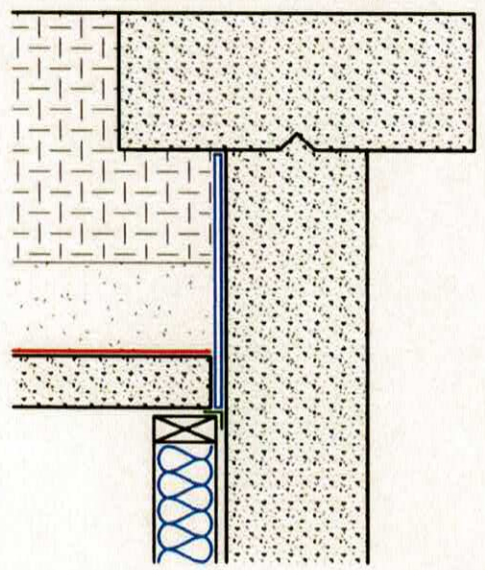


- INSULATION
- POLY (VAPOUR BARRIER)
- SEALANT (AIR BARRIER)
- GENERIC

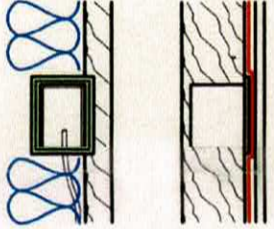
TYPICAL WINDOW/DOOR JAMB DETAIL



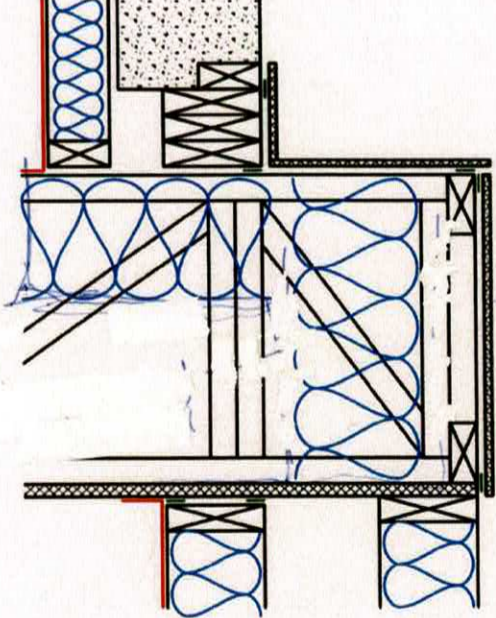
SLAB EDGES IN WALKOUT & HEATED SLABS DETAIL



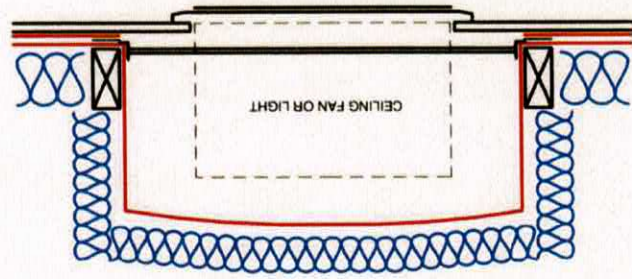
TYPICAL OUTLET BOX DETAIL



CANTILEVER DETAIL

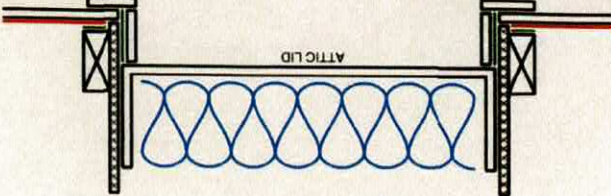


CEILING FAN/ATTIC POT LIGHT DETAIL

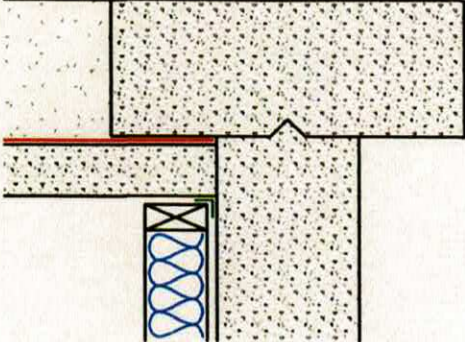


- INSULATION
- POLY (VAPOUR BARRIER)
- SEALANT (AIR BARRIER)
- GENERIC

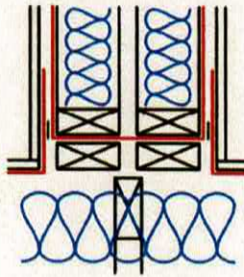
ATTIC HATCH DETAIL



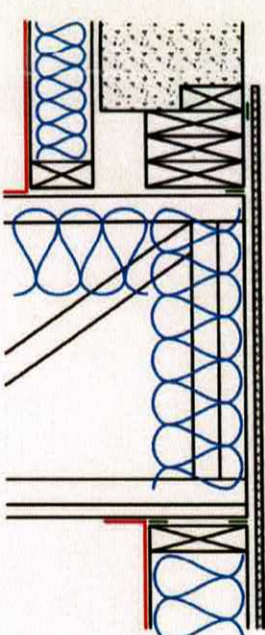
SLAB/FOOTING JUNCTION DETAIL



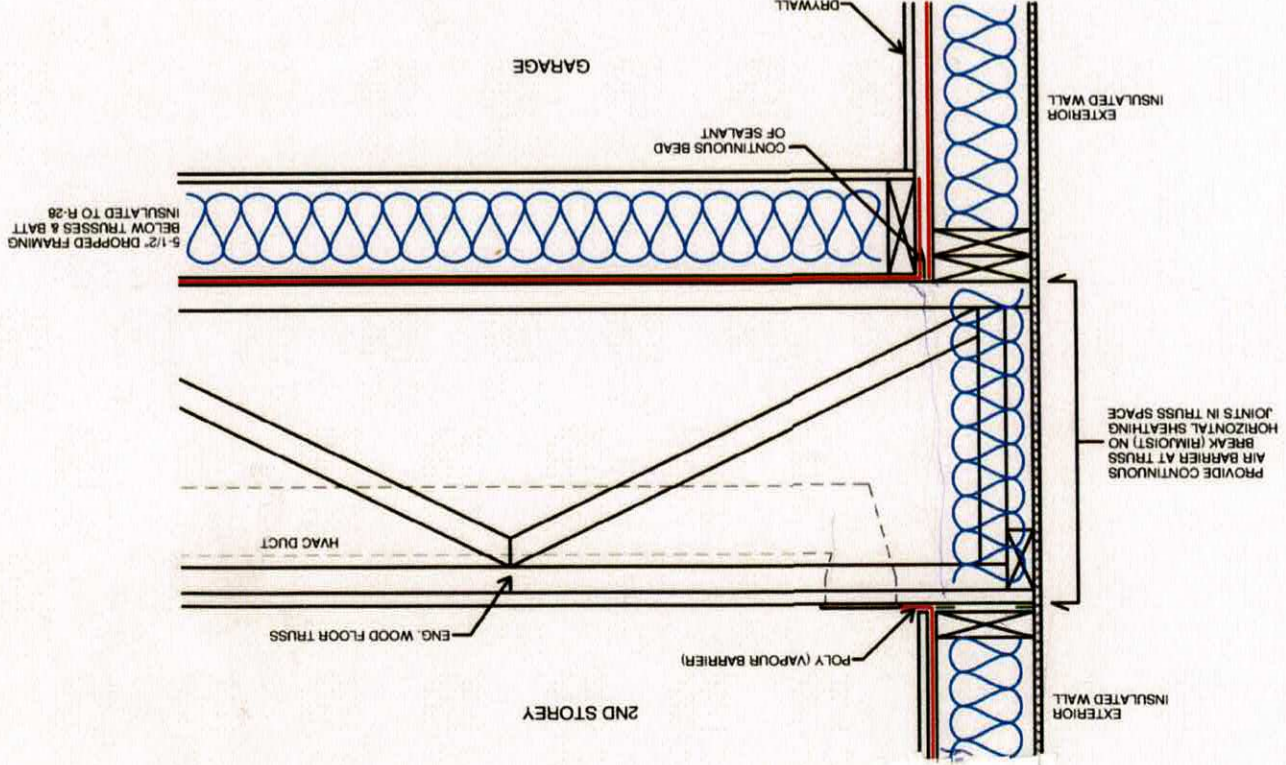
PARTY WALL DETAIL



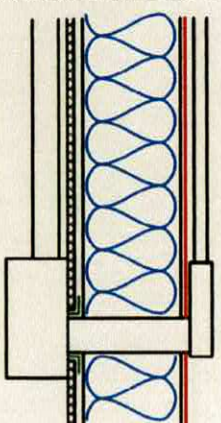
TOP OF BASEMENT WALL MAIN FLOOR JUNCTION DETAIL



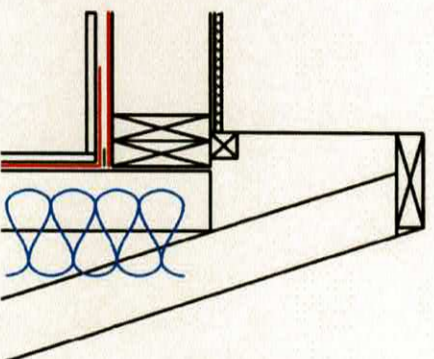
BONUS ROOM OVER ATTACHED GARAGE DETAIL



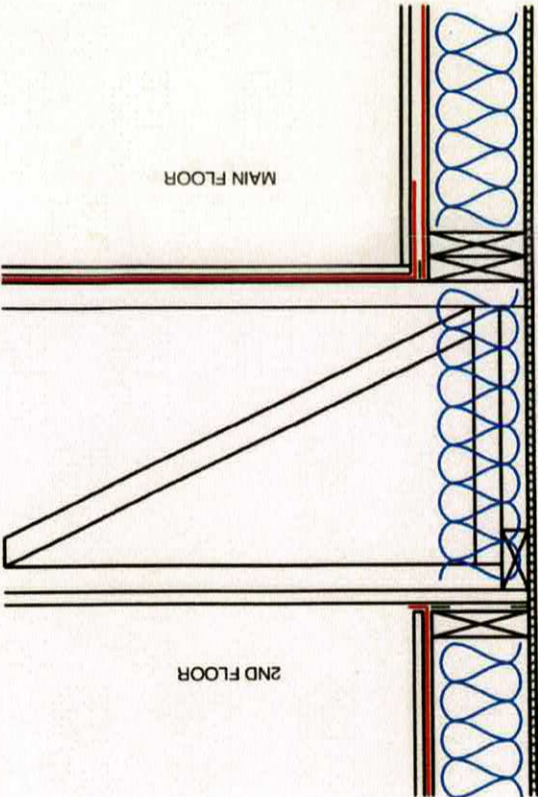
ELECTRIC METER/WALL PIPE/DUCT IN INSULATED WALL DETAIL



EAVES/TOP OF WALL DETAIL



UPPER FLOOR RIM JOIST DETAIL



MAIN FLOOR

2ND FLOOR

2ND STOREY

EXTERIOR INSULATED WALL

EXTERIOR INSULATED WALL

DRYWALL

CONTINUOUS BEAD OF SEALANT

5-1/2" DROPPED FRAMING BELOW TRUSSES & BATT INSULATED TO R-28

HVAC DUCT

ENG. WOOD FLOOR TRUSS

POLY (VAPOUR BARRIER)

PROVIDE CONTINUOUS AIR BARRIER AT TRUSS JOINTS IN TRUSS SPACE

HORIZONTAL SHEATHING BREAK (REMOVE) NO

EXTERIOR INSULATED WALL

Re: Addition/Suite Inquiry

From ryan motz [REDACTED]
Date Thu 2026-04-02 7:11 AM
To Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>

Good morning Laura, my plan is to have the upstairs for my family, and the basement on a short term rental. As my kiddos get older I am hoping to have the extra room for them, is my thoughts
Sent from my iPhone

On Apr 1, 2026, at 4:18 PM, Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca> wrote:

Appreciated Rae, I was going to ask for the same thing.

I still need to clear up the discussion regarding intent and use.

If the "addition" is intended be strictly used by family as part of the cabin, or if it will be rented out either full time, or short term (secondary suite/duplex).

Kindly,

Laura McKinnon, CPT
Development Officer

MD Of Pincher Creek
1037 Herron Avenue
Box 279
Pincher Creek, AB
T0K1W0
Office: 403-627-3130
Email: AdminDevOfr@mdpincercreek.ab.ca

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From: r.neufeld@shaw.ca [REDACTED]
Sent: April 1, 2026 4:02 PM
To: [REDACTED]
Cc: 'Curtis Pierson' [REDACTED]; Laura McKinnon
<AdminDevOfr@mdpincercreek.ab.ca>
Subject: RE: Addition/Suite Inquiry

Hi Cindy

Sorry I was trying to make a smaller file. Here is the original from the architect. However it is one pdf per page. Hope this works.

- Rae

From: Cindy Stoperski [REDACTED]
Sent: Wednesday, April 1, 2026 2:23 PM
To: [REDACTED]
Cc: Curtis Pierson [REDACTED]; Laura McKinnon
<admindevofr@mdpincercreek.ab.ca>
Subject: FW: Addition/Suite Inquiry

Goo afternoon Rae,

I will need you to resend the revised drawings. When printed off they are way to blurry.

Thank you,

Cindy Stoperski

Just a short note that we will be closed on Friday, April 3rd for Good Friday. We will be back in the office on Monday, April 6th at 8 AM.

Building Administrator
SUPERIOR SAFETY CODES INC.
422 Mayor Magrath Drive
Lethbridge, AB T1H 6H7
Ph.: [REDACTED]

Website: www.superiorsafetycodes.com

****In an effort to go paperless, hard copies of permits will no longer be mailed back to you. If you require a hard copy please let us know.****

From: Curtis Pierson <CPierson@superiorsafetycodes.com>
Sent: Monday, March 30, 2026 9:47 AM
To: Cindy Stoperski <cstoperski@superiorsafetycodes.com>
Subject: FW: Addition/Suite Inquiry

Hi Cindy,

You will put this in the pending file for permit issuance, if we have everything else we need?

Regards,
Curt Pierson
Building Safety Codes Officer
Superior Safety Codes Inc.
422 North Mayor Magrath Dr.
Lethbridge, AB. T1H 6H7

Web Site: www.superiorsafetycodes.com

e-mail: [REDACTED]

From: [REDACTED]
Sent: March-27-26 5:51 PM
To: Curtis Pierson <[REDACTED]> 'Laura McKinnon'
<AdminDevOfr@mdpincercreek.ab.ca>
Cc: [REDACTED] Cindy Stoperski <[REDACTED]>
Subject: RE: Addition/Suite Inquiry

Hi Laura

Here are the revised drawings as per notations by Curt. The floor truss design and in-floor heat design requirements and loop system layout will be submitted with the permit application.

Thanks,

- Rae

Rae Neufeld
Neufeld Bros Const
r.neufeld@shaw.ca
403-317-0751

From: Curtis Pierson <[REDACTED]>
Sent: Friday, March 27, 2026 10:00 AM
To: Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>
Cc: [REDACTED] Cindy Stoperski
<[REDACTED]>
Subject: RE: Addition/Suite Inquiry

Hi Laura,

This is just a SFD addition. There are numerous issues with the submitted drawings that have to be revised. The concrete floors on the wood trusses must be engineered for the additional weight, etc. The concrete piers/columns must be min 10" diameter, not 8". Make sure that step footings are installed where required to maintain the min 4' frost protection. The pad footings that are shown as 48"x24"x8" must be changed to 48"x 30"x8" min. Roof insulation must be min R50, not R40 as

noted. Basement exterior wall framing to be 2x4 with 2" spacing, not 1", as you need the extra room for the min R20 insulation without squishing the insulation which reduces the R-value. The in-floor heat design requirements and loop system layouts to be submitted. These drawings must be revised for acceptance during permit issuance. Submit the entire building permit application to Cindy Stoperski (cc'd in this email) for permit issuance. Let me know if you have any other questions or concerns.

Regards,
Curt Pierson
Building Safety Codes Officer
Superior Safety Codes Inc.
422 North Mayor Magrath Dr.
Lethbridge, AB. T1H 6H7

[REDACTED]
[REDACTED]
[REDACTED] [com](#)
e-mail: [REDACTED]

From: Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>
Sent: March-26-26 3:51 PM
To: Curtis Pierson <[REDACTED]>
Cc: [REDACTED]
Subject: Addition/Suite Inquiry

Hey Curt,

Hope you're doing well. We are working on a development permit for Ryan Motz, Lot 36, Block 4, Plan 0512644 within Castle Mountain Resort. Please see the drawings attached and could you please let us know the implications from a building code perspective, or is it relatively straight forward, considered an "addition" regardless of the use.

If you have an specific questions about the drawings/build, may be best to contact Ryan Motz at 403-502-4626.

Appreciate the time!

Kindly,

Laura McKinnon, CPT
Development Officer

MD Of Pincher Creek
1037 Herron Avenue
Box 279
Pincher Creek, AB
T0K1W0
Office: 403-627-3130
Email: AdminDevOfr@mdpincercreek.ab.ca

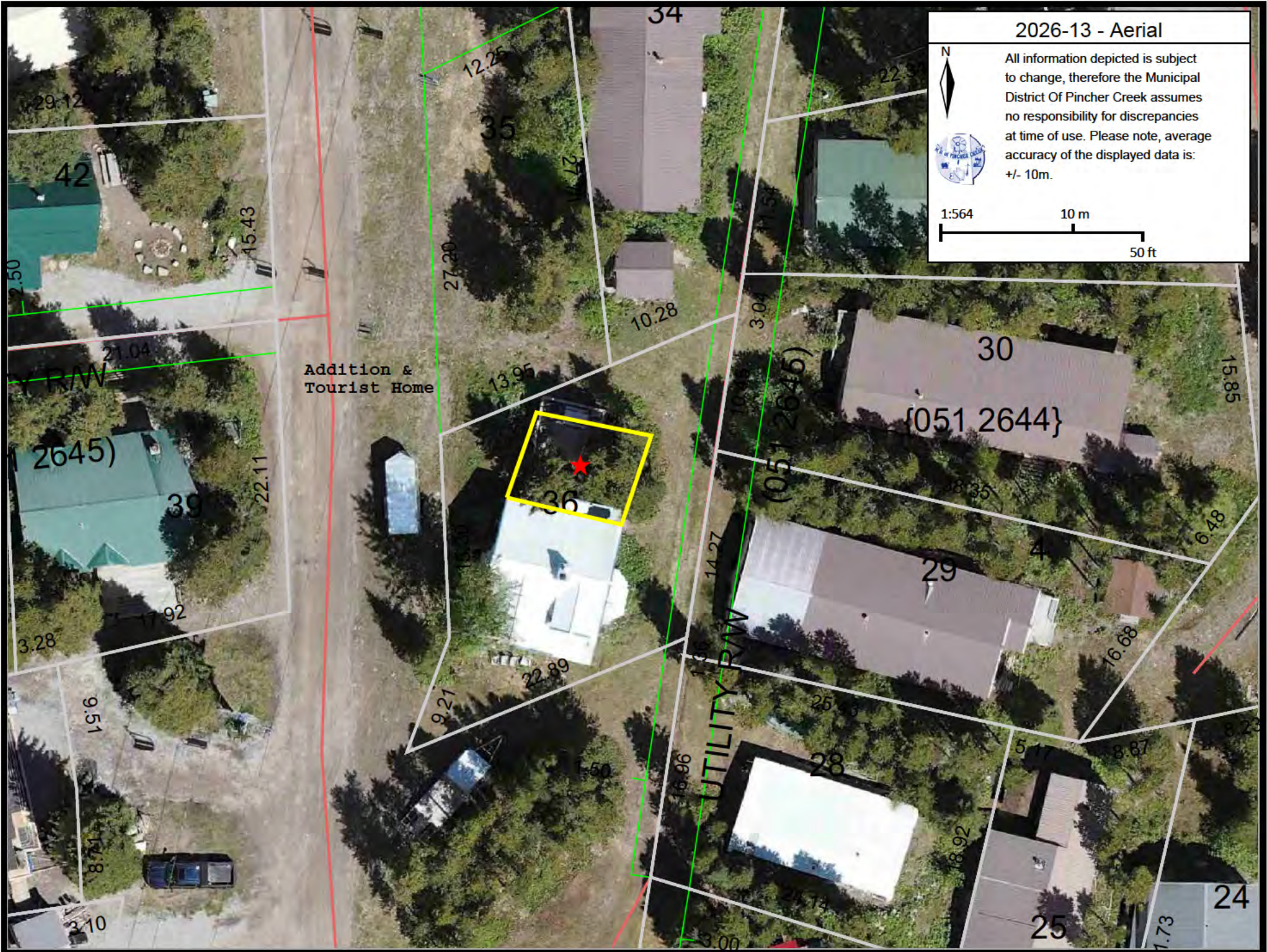
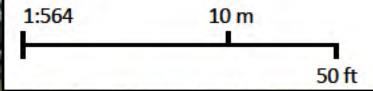
Emails and associated attachments are confidential and intended solely for the individual or entity to whom they have been addressed. In the event you have received this email by mistake, please notify

the sender and delete it from your email system. Disclosing, copying, or distributing this information is strictly prohibited. We do not accept any liability from software viruses that may have been transmitted via email, or associated attachments.

2026-13 - Aerial



All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.



Addition & Tourist Home

UTILITY R/W



36

30
{051 2644}

{051 2645}

{051 2645}

42

10.28

27.20

12.25

13.95

22.89

9.21

14.50

16.96

14.27

3.04

29

18.92

25

24

15.85

6.48

16.68

8.87

22.11

15.51

8.78

3.10

3.28



17.92

21.04

45.43

29.12

Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2026-17 Applicant: Matias Voramwald Location: Lot 2, Block 1, Plan 1112242 within SE 5-6-1 W5 Division: 3 Size of Parcel: 11.58 ha (28.26Acres) Zoning: Agriculture (A) Development: Secondary Suite	
PREPARED BY: Laura McKinnon	DATE: April 30, 2026
DEPARTMENT: Planning and Development	
Signature:	ATTACHMENTS:
	<ol style="list-style-type: none"> 1. Development Permit Application 2026-17 2. Email from Applicant 3. Secondary Suites Amendment – LUB 1349-23 4. GIS Aerial
2026/04/30	
APPROVALS:	
 <hr style="width: 80%; margin: 0 auto;"/>	<hr style="width: 80%; margin: 0 auto;"/>
 <hr style="width: 80%; margin: 0 auto;"/>	26/04/30 <hr style="width: 80%; margin: 0 auto;"/>
Department Director	Date
David Desobry	Roland Milligan
CAO	Date

RECOMMENDATION:

That Development Permit Application No. 2026-17, for a Secondary Suite be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions required in Land Use Bylaw 1349-23.

Informative(s):

1. That this development not be used for Tourist Home (short term rentals), unless otherwise applied for.

BACKGROUND:

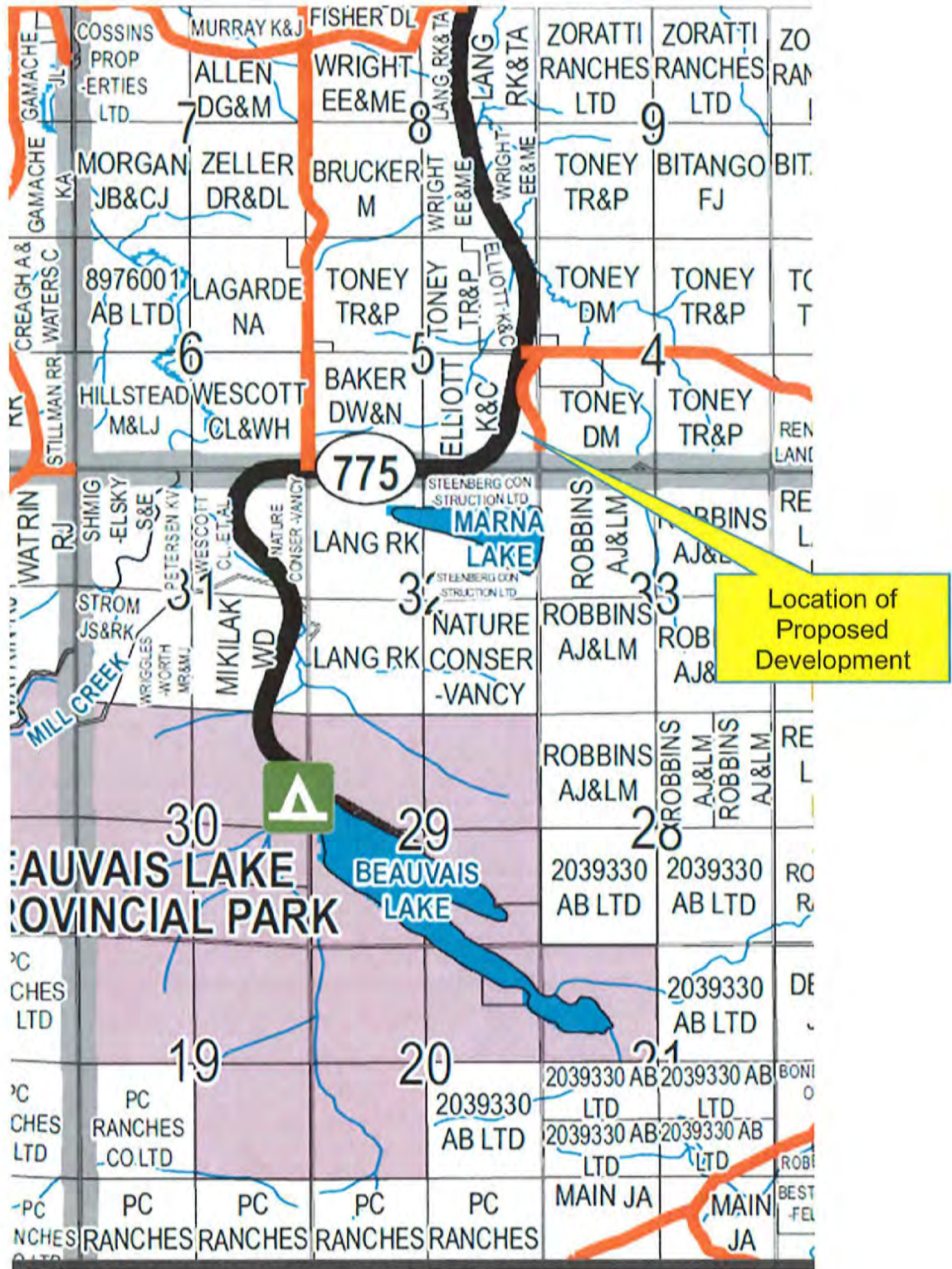
- On April 13, 2026, the MD accepted the Development Permit Application No. 2026-17 from applicant Matias Voramwald. (*Attachment No. 1*).
- This application is to allow for a Secondary Suite on a Agricultural (A) parcel.
- This application is being placed in front of the MPC because:
 - Within the Agriculture (A) Land Use District, a Secondary Suite is a Discretionary Use.
- The applicant is intending to move on a small cabin from Beauvais Lake, to be used as a Secondary Suite for family & personal use. (*Attachment No. 2*).
- Land Use Bylaw 1349-23 recently underwent an amendment that allows for a detached secondary suite at less than 1000ft², additionally, it meets the density maximum requirement and is located in the same yard site (*Attachment No. 3*)

Recommendation to Municipal Planning Commission

- The secondary suite meets all required setbacks within the district (*Attachment No. 4*)
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written .

Recommendation to Municipal Planning Commission

Location of Proposed Development





Municipal District of Pincher Creek
 P.O. Box 279
 Pincher Creek, AB T0K 1W0
 Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2026-17

Date Application Received 2026/04/13

PERMIT FEE \$100 Permitted
\$150 Discretionary

Date Application Accepted 2026/04/13

RECEIPT NO. 70911

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government - other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: Matias Voramwald

Address: 6004 Range Road 1-4

[Redacted]

Email: [Redacted]

Owner of Land (if different from above): _____

Address: _____ Telephone: _____

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

A recreational, pre built cabin, moved to the yard site of our current residence.

Secondary Suite - detached

Legal Description: Lot(s) 2

Block 1

Plan 1112242

Quarter Section SE5-Twp6-Range1-West of the 5th

Estimated Commencement Date: April 30, 2026

Estimated Completion Date: May 30, 2026

SECTION 3: SITE REQUIREMENTS

Land Use District: Agriculture - A Division: 3

Permitted Use Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

Yes No

Is the proposed development below a licenced dam?

Yes No

Is the proposed development site situated on a slope?

Yes No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

Yes No Don't know Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

Yes No Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site	~600sq/ft		
(2) Area of Building	470.25sq/ft	1000sq/ft	yes
(3) %Site Coverage by Building (within Hamets)	NA		
(4) Front Yard Setback Direction Facing:	W 248M NA	30M	yes
(5) Rear Yard Setback Direction Facing:	E 65M NA	30M	yes
(6) Side Yard Setback: Direction Facing:	N 375M NA	30M	yes
(7) Side Yard Setback: Direction Facing:	S 74M NA	30M	yes
(8) Height of Building	~10'		
(9) Number of Off Street Parking Spaces	NA		

Other Supporting Material Attached (e.g. site plan, architectural drawing)

Google maps created site plan, Sketch of cabin layout.

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:			
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: _____

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: 2026/04/13

Matt Voth MATIAS VORAMUWALD

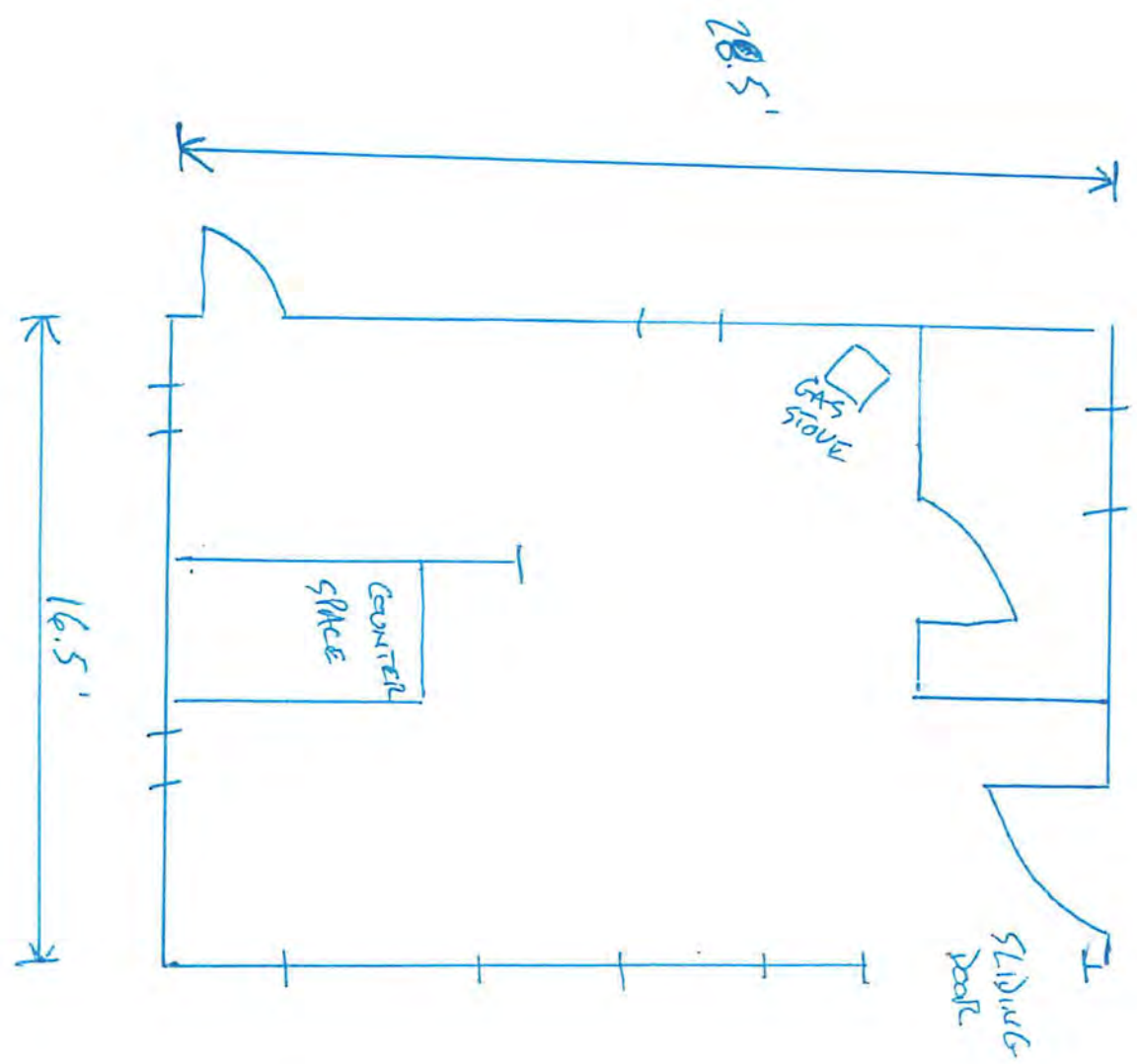
Applicant

Matt Voth MATIAS VORAMUWALD

Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.

SKETCH OF CABIN AT GOOT RANGE RD 1-4





Returning to Previous View



Backspace will take you to previous views.
Use control-backspace to redo.

Cabin Location

Image © 2026 Airbus

Google Earth

1985

Imagery Date: 8/28/2023 49°26'14.69" N 114°05'30.60" W elev 1307 m eye alt 1.49 km









MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinnercreek.ab.ca

Voramwald, Matias Andreas & Di
P.O. Box 343
Pincher Creek, AB T0K 1W0

PAYMENT RECEIPT

Receipt Number:	70971
Date:	4/16/2026
Initials:	CD
GST Registration #:	10747347RP

Receipt Type	Roll/Account	Description	QTY	Amount	Amount Owing
General	DEVE	Development Application Fees	1	\$150.00	\$0.00

Subtotal:	\$150.00
Discount:	\$0.00
GST:	\$0.00
Total Receipt:	\$150.00
Mastercard:	\$150.00
Total Amount Received:	\$150.00

Re: Development permit application

From mat voramwald [REDACTED]
Date Wed 2026-04-15 3:57 PM
To Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>

 3 attachments (18 MB)
IMG 0515.jpeg; IMG 0441.jpeg; IMG 0522.jpeg;

Hi Laura,

As discussed, here are some pictures of tge cabin where it is currently located.

Matias

On Tue, Apr 14, 2026 at 4:45 PM mat voramwald [REDACTED] wrote:

Hi Laura,

Yes it has a bedroom that we would likely put a bed in. It would not have sewer although at a later date we may look at an outhouse option, and possibly no water either. It will have power of some kind going to it, still not determined if generator/solar or hard lined to our meter. We are planning on having it heated with propane.

Matias

On Tue, Apr 14, 2026 at 4:10 PM Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca> wrote:

Hey,

Would it be available for people to sleep in? Would it have power, gas, water and sewer? Or just strickly unserviced?

Kindly,

Laura McKinnon, CPT
Development Officer

[MD Of Pincher Creek](#)
[1037 Herron Avenue](#)

Box 279

Pincher Creek, AB

T0K1W0

Office: 403-627-3130

Email: AdminDevOfr@mdpincercreek.ab.ca

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From: mat voramwald [REDACTED]
Sent: April 14, 2026 12:27 PM
To: Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>
Subject: Re: Development permit application

Hey Laura,

Sorry just in a meeting right now.

The cabin would be mostly a spare recreational room for our family/guests, storage for equipment (horse tack, etc), extra window space for starting our greenhouse seeds. Its not all that big. Ill be free later on for a chat if you have a time that works best.

Im just planning on keeping it on skids and placing it on wood blocks or paving slabs.

Matias

Thanks for your help.

On Tue, Apr 14, 2026 at 8:42 AM Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca> wrote:
Hi Matias,

I just left you a voicemail, but I have a few questions about this. What is the cabin going to be used for?

Kindly,

Laura McKinnon, CPT
Development Officer

[MD Of Pincher Creek](#)
[1037 Herron Avenue](#)

Box 279

Pincher Creek, AB

T0K1W0

Office: 403-627-3130

Email: AdminDevOfr@mdpincercreek.ab.ca

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From: mat voramwald [REDACTED]
Sent: April 13, 2026 7:05 PM
To: Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>
Subject: Development permit application

Hello,

I have a development permit application I would like to submit but I am unsure if it needs to be paid for as a permitted or discretionary permit. please find the attachments for the permit and let me know how to proceed.

Thank you!

Matias Voramwald

**MUNICIPAL DISTRICT OF PINCHER CREEK NO. 9
BYLAW NO. 1368-26**

Being a bylaw of the Municipal District of Pincher Creek No. 9 in the Province of Alberta, to amend Bylaw No. 1349-23, being the Land Use Bylaw.

WHEREAS Section 640 of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, provides that a municipality must pass a Land Use Bylaw;

WHEREAS The Municipal District of Pincher Creek No. 9 desire to amend sections of the Land Use Bylaw as shown on Schedule 'A' attached hereto; and

WHEREAS The purpose of the proposed amendment is to add a detached secondary suite and to limit the dwelling density within the agriculturally oriented districts in the Land Use Bylaw;

NOW THEREFORE, under the authority and subject to the provisions of the *Municipal Government Act*, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council of the Municipal District of Pincher Creek No. 9, in the Province of Alberta, duly assembled does hereby enact the following:

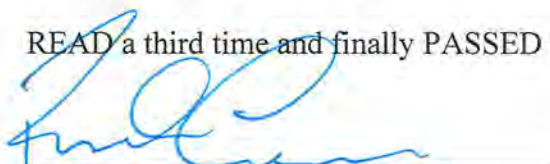
1. This bylaw shall be cited as "Land Use Bylaw Amendment No. 1368-26".
2. Amendments to Land Use Bylaw No. 1349-23 as per "Schedule A" attached. That the amendments to Bylaw No. 1349-23, being the Land Use Bylaw, include additions to section that affect numbering and formatting which will be changed to maintain the consistency of the portions of the Bylaw being amended.
3. This bylaw shall come into force and effect upon third and final passing thereof and a consolidated version of the Land Use Bylaw reflecting the amendment is authorized to be prepared.

READ a first time this 27 day of January 2026.


A PUBLIC HEARING was held this 10 day of March 2026.

READ a second time this 24 day of March 2026.

READ a third time and finally PASSED this 24 day of March 2026.



Reeve
Rick Lemire



Chief Administrative Officer
Roland Milligan

SCHEDULE 'A'

1. Revise Part I – General Section 6 Definitions as follows:

6.140 Secondary Suite

An additional dwelling unit located on a property containing a single unit residence, which is subordinate to the **principal dwelling** primary residence. **The secondary suite must be located within the same yard as the principal dwelling.** ~~The unit must have a separate entrance from the principal dwelling, either from a common indoor landing or directly from the exterior of the house.~~ A secondary suite shall not be developed within a "Duplex", "Semi-detached dwelling", "Multi-unit dwelling", "Manufactured home park", "Rowhouse or townhouse" or "Apartment". "Garden suite", "Surveillance suite", and "Secondary farm residence" are separate uses.

6.121 Principal Dwelling

Principal dwelling means the primary residence unit located on a titled piece of land.

2. Delete and replace Part VII Section 42.1 and 42.2 with the following:

42.1 The maximum number of dwelling units per parcel of land is as regulated through the applicable land use district and associated use specific standards of development of this Bylaw.

42.2 No person shall construct or locate, or cause to be constructed or located, more than one dwelling unit on a parcel except as provided in the land use district for which the application is made and authorized by the Development Authority through issuance of a development permit for a use that allows for more than one dwelling in accordance with the provisions of this Bylaw.

3. Revise Part VII Section 42.3 with the following:

42.3 Within the Agriculture – A, Airport Vicinity Protection – AVP, Urban Fringe – UF, Wind Farm Industrial – WFI districts, one or more additional dwelling units may be located on a parcel provided that:

- (a) all such dwelling units are secondary farm residences on a parcel that has an area greater than 32.4 ha (80 acres) and this use is a permitted or discretionary use in the applicable district; and
- (b) all such dwelling units comply with this bylaw.

4. Revise Part VIII Tourist Home Section 47.15 by changing the following:

47.15 Within the Agriculture – A district, a tourist home may be considered on properties that have a principal dwelling and ~~that~~ may also have a secondary suite or a secondary farm residence. ~~and/or~~ Only one of the dwelling units may be considered for the Tourist Home use. Alternatively, where a principal dwelling is located on the site, a tourist home may be approved as a maximum of two (2) supplemental recreation vehicle spaces and is to be designated as a seasonal tourist home in place of designating a dwelling unit as a tourist home.

5. Revise Part VIII Section 49 Garden and Secondary Suites by changing Section 49.5(c) to the following:

(c) in the Agriculture – A, Airport Vicinity Protection – AVP, Urban Fringe – UF, Wind Farm Industrial – WFI districts where listed as a permitted or discretionary use, a secondary suite may be considered (as shown in figure below) as a second storey garage (or shop) suite or detached dwelling. All secondary suites in this category are limited to a maximum building footprint or floor area of 1000 ft² (28.32m²).



6. Revise Part IX – Districts Section 2 by removing 'Garden Suite' from the Agriculture – A, Airport Vicinity Protection – AVP, Rural Business – RB, Urban Fringe – UF, Wind Farm Industrial – WFI districts.
7. Revise Part IX – Districts by adding to Agriculture – A, Airport Vicinity Protection – AVP, Rural Business – RB, Urban Fringe – UF, Wind Farm Industrial – WFI districts the following:

3. Maximum Density

For all subdivided parcels that are less than 32.4 ha (80 acres) the maximum number of dwelling units is two (2). This can be any combination of a principal dwelling with a secondary suite as defined by Section 49. For those properties that were approved for a secondary farm residence and were subdivided the secondary farm residence will need a permit to transition to a secondary suite. Where a subdivided parcel contains more than 2 dwelling units, each dwelling unit greater than two will be considered legal non-conforming and cannot be altered or added to with an addition or secondary suite.

Division:3

ROADWAY

Distance: 326.41 m

2

1

PIPELINE R/W

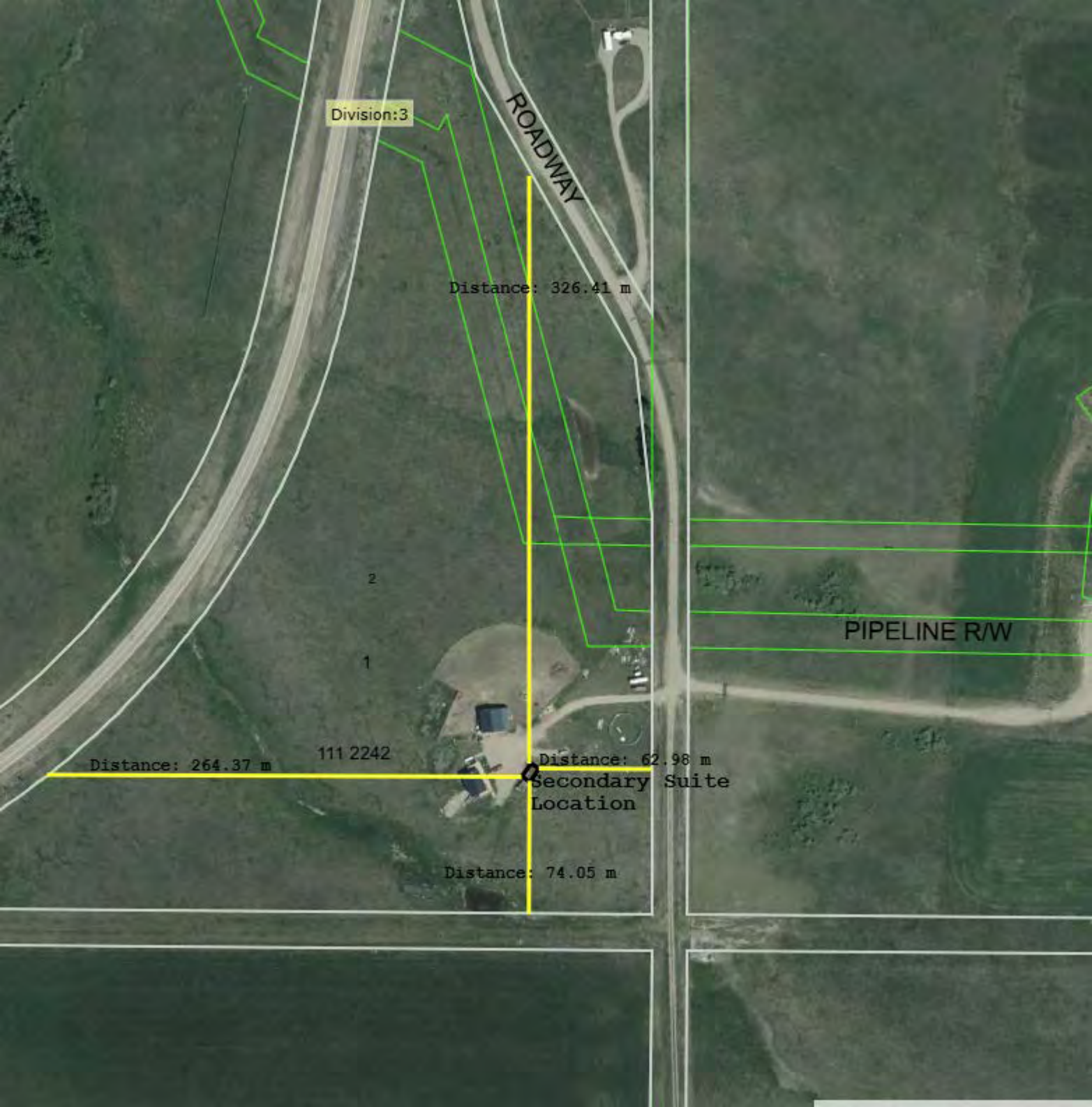
Distance: 264.37 m

111 2242

Distance: 62.98 m

Secondary Suite Location

Distance: 74.05 m



Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2026-18 Applicant: Riley Fouillard Location: Ptn of NW 36-6-1 W5 Division: 3 Size of Parcel: 1.14 ha (2.83 Acres) Zoning: Agriculture (A) Development: Tourist Home			
PREPARED BY: Laura McKinnon	DATE: April 30, 2026		
DEPARTMENT: Planning and Development			
Signature:	ATTACHMENTS:		
	<ol style="list-style-type: none"> 1. Development Permit Application 2026-18 2. GIS Aerial 		
2026/04/30			
APPROVALS:			
 <hr style="width: 100%;"/>	 <hr style="width: 100%;"/>		
 <hr style="width: 100%;"/>	 <hr style="width: 100%;"/>		
Department Director	Date	CAO	Date

RECOMMENDATION:

That Development Permit Application No. 2026-18, for a Tourist Home be approved subject to the following Condition(s):

Condition(s):

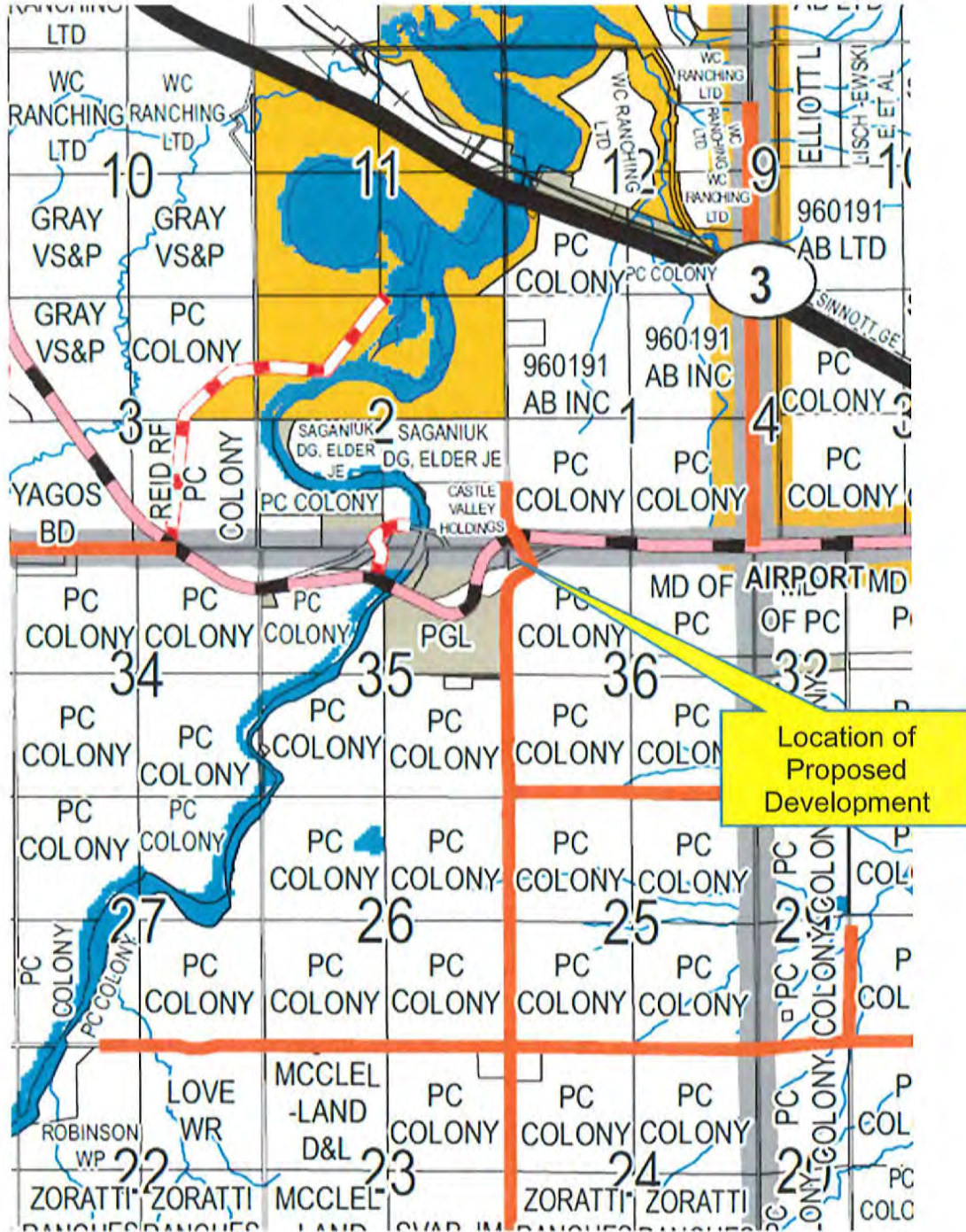
1. That this development meets the minimum provisions required in Land Use Bylaw 1349-23.
2. That this development be limited to, 2 bedrooms as Tourist Home Use.

BACKGROUND:

- On April 15, 2026, the MD accepted the Development Permit Application No. 2026-18 from applicant Riley Fouillard. (*Attachment No. 1*).
- This application is to allow for a Tourist Home on a Agricultural (A) parcel.
- This application is being placed in front of the MPC because:
 - Within the Agriculture (A) Land Use District, a Tourist Home is a Discretionary Use.
- The applicant is intending to use his recently purchase property, as a Tourist Home, until such time that the applicant chooses to move out there. (*Attachment No. 2*).
- The house is already existing, as a two bedroom “shouse”. Small living quarters with a large garage/shop attached.
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written .

Recommendation to Municipal Planning Commission

Location of Proposed Development





Municipal District of Pincher Creek
P.O. Box 279
Pincher Creek, AB T0K 1W0
Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2026-18

Date Application Received Apr 15/26

PERMIT FEE \$100 Permitted / \$150 Discretionary

Date Application Accepted Apr 15/26

RECEIPT NO. _____

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: Riley Fouillard

Address: 6532 RR 1-1 Pincher Creek.

Telephone: 403-291-XXXX Email: [REDACTED]

Owner of Land (if different from above): _____

Address: _____ Telephone: _____

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

Air BnB living quarters inside building

Legal Description: Lot(s) _____

Block _____

Plan _____

Quarter Section NW 36 6 1 N5

Estimated Commencement Date: May 1 2026

Estimated Completion Date: _____

SECTION 3: SITE REQUIREMENTS

Land Use District: Agriculture - A Division: 3

Permitted Use Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

Yes No

Is the proposed development below a licenced dam?

Yes No

Is the proposed development site situated on a slope?

Yes No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

Yes No Don't know Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

Yes No Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) %Site Coverage by Building (within Hamets)			
(4) Front Yard Setback Direction Facing:	Existing	House	
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:			
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: _____

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: April 9 26

Riley Fouillard
 Applicant

[Signature]
 Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.



MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinchercreek.ab.ca

Fouillard, Riley

PAYMENT RECEIPT

Receipt Number:	70989
Date:	4/21/2026
Initials:	CD
GST Registration #:	10747347RP

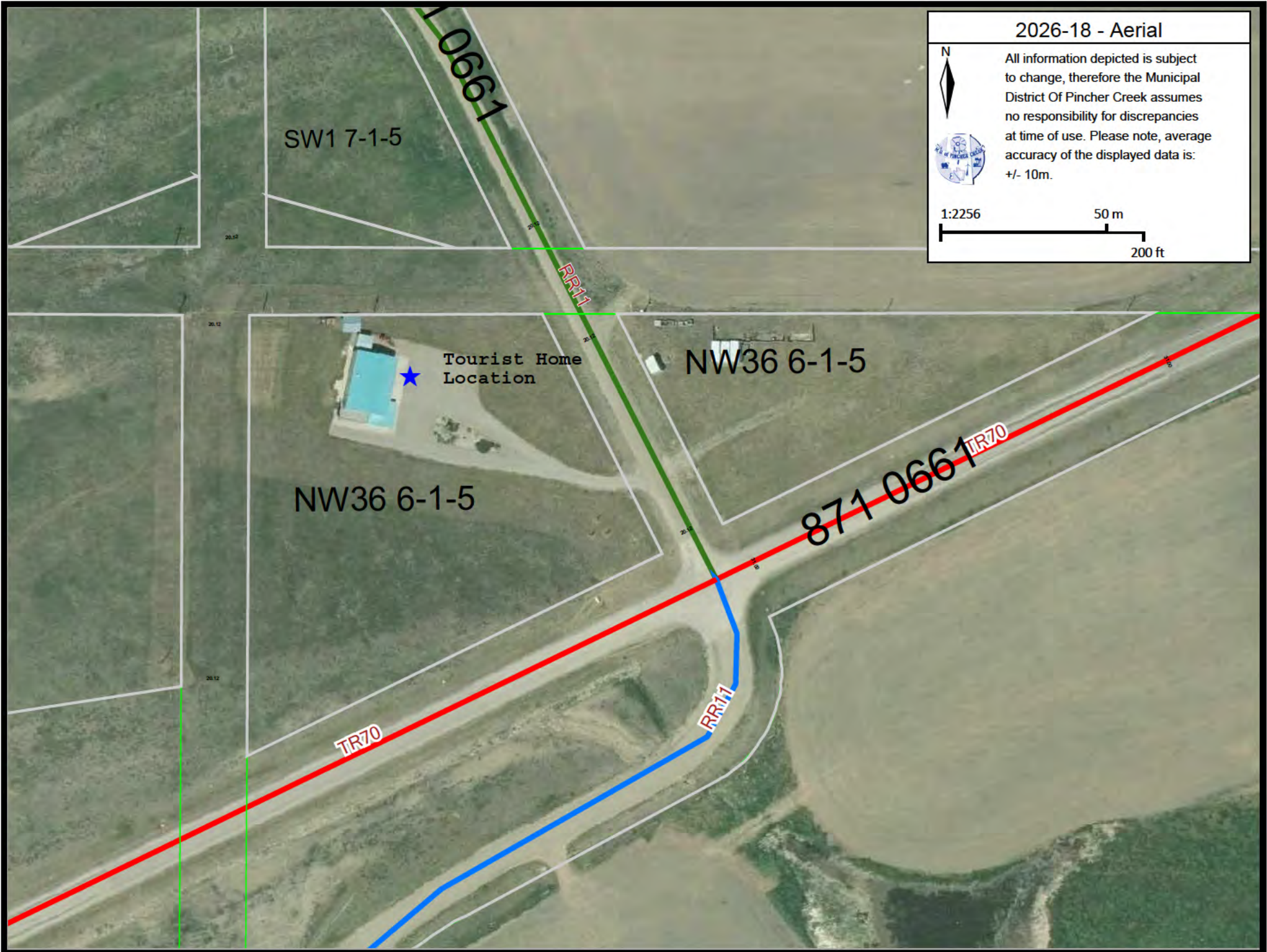
Receipt Type	Roll/Account	Description	QTY	Amount	Amount Owing
General	DEVE	Development Application Fees	1	\$150.00	\$0.00

Subtotal:	\$150.00
Discount	\$0.00
GST	\$0.00
Total Receipt:	\$150.00
Mastercard:	\$150.00
Total Amount Received:	\$150.00

2026-18 - Aerial



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SW1 7-1-5

0661

RR11

★ Tourist Home Location

NW36 6-1-5

NW36 6-1-5




871 0661

TR70

TR70

RR11

Recommendation to Municipal Planning Commission

TITLE: Applicant: Location: Division: Size of Parcel: Zoning: Development:	DEVELOPMENT PERMIT No. 2026-20 Kassie Degen Lot 4, Plan 6903HE within Lowland Heights 2 0.15 ha (0.38 Acres) Hamlet Residential 2 (HR-2) Tourist Home	
PREPARED BY: Laura McKinnon		DATE: April 30, 2026
DEPARTMENT: Planning and Development		
Signature: 		ATTACHMENTS: 1. Development Permit Application 2026-20 2. GIS Aerial
APPROVALS:		
 _____ David Derabin	_____ 26/04/30 Date	_____ Roland Milligan CAO
Department Director	Date	CAO
Date		

RECOMMENDATION:

That Development Permit Application No. 2026-20, for a Tourist Home be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions required in Land Use Bylaw 1349-23.
2. That this development be limited to 1 bedroom as Tourist Home Use.

BACKGROUND:

- On April 20, 2026, the MD accepted the Development Permit Application No. 2026-20 from applicant Kassie Degen. (*Attachment No. 1*).
- This application is to allow for a Tourist Home on a Hamlet Residential 2 (HR-2) parcel.
- This application is being placed in front of the MPC because:
 - Within the HR-2 (HR-2) Land Use District, a Tourist Home is a Discretionary Use.
- The applicant is renting out one bedroom on a short term rental basis, and is looking to obtain compliance under Land Use Bylaw 1349-23. (*Attachment No. 2*).
- The house is already existing, and meets all other requirements from Land Use Bylaw 1349-23.
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written .



Municipal District of Pincher Creek

P.O. Box 279

Pincher Creek, AB T0K 1W0

Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2026-20

Date Application Received 2026/04/20

PERMIT FEE \$100 Permitted / \$150 Discretionary

Date Application Accepted 2026/04/20

RECEIPT NO. 70988

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: Krissie Degen

Address: 26 Lawland Heights

Telephone: 403- [REDACTED] Email: [REDACTED]

Owner of Land (if different from above): _____

Address: _____ Telephone: _____

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

Air BnB - single bedroom

Legal Description: Lot(s) 4

Block _____

Plan 6903 HG

Quarter Section Block 26 on Lawland Heights

Estimated Commencement Date: ASAP

Estimated Completion Date: _____

SECTION 3: SITE REQUIREMENTS

Land Use District: Hamlet Residential 2 Division: 2

Permitted Use Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

Yes No

Is the proposed development below a licenced dam?

Yes No

Is the proposed development site situated on a slope?

Yes No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

Yes No Don't know Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

Yes No Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) %Site Coverage by Building (within Hamets)			
(4) Front Yard Setback Direction Facing:	Existing House		
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:			
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: _____

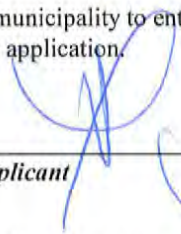
Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)


The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: 04/21/20



Applicant



Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.

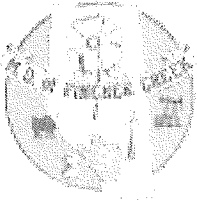
IMPORTANT NOTES:

THE DEVELOPMENT OFFICER MAY REFUSE TO ACCEPT AN APPLICATION FOR A DEVELOPMENT PERMIT WHERE THE INFORMATION REQUIRED HAS NOT BEEN SUPPLIED OR WHERE THE QUALITY OF SUCH INFORMATION IS INADEQUATE TO PROPERLY EVALUATE THE APPLICATION.

1. In addition to completing this application form in its entirety, an application for a development permit shall be accompanied by the following information, where relevant:
 - (a) a lot plan at scale to the satisfaction of the Development Officer showing the size and shape of the lot, the front, rear and side yards, any provision for off-street loading and vehicle parking, access to the site, and the location of public utility lines, waterbodies and treed areas;
 - (b) a scaled floor plan and elevations where construction is proposed;
 - (c) at the discretion of the Development Officer, a Real Property Report as proof of location of existing development and a copy of the Duplicate Certificate of Title indicating ownership and encumbrances;
 - (d) if the applicant is not the registered owner, a written statement, signed by the registered owner consenting to the application and approving the applicant as the agent for the registered owner.
2. A non-refundable processing fee of an amount determined by Council shall accompany every application for a development permit.
3. Failure to complete the application form fully and supply the required information, plans and fee may cause delays in processing the application.
4. All development permits shall contain the following informative:

“ANY DEVELOPMENT CARRIED OUT PRIOR TO THE EFFECTIVE DATE OF THE APPROPRIATE DEVELOPMENT PERMIT IS DONE SOLELY AT THE RISK OF THE APPLICANT AND/OR LANDOWNER.”
5. In accordance with the *Municipal Government Act*, a development authority must, within 20 days after the receipt of an application for a development permit, determine whether the application is complete.

A decision on a completed application must be made within 40 days. After the 40-day period the applicant may deem the application refused and file an appeal within 21 days, of the expiry of the decision date.
6. Every approach to a residence is entitled to a civic address sign, supplied by the municipality. If your location does not already have a sign, please contact the MD Administration Office to make arrangements as soon as your approach has been constructed.



MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinchercreek.ab.ca

Bond, Mason & Degen, Kassie
P.O. Box 3182
Pincher Creek, AB T0K 1W0
Canada

PAYMENT RECEIPT

Receipt Number:	70988
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2026-20 - Aerial

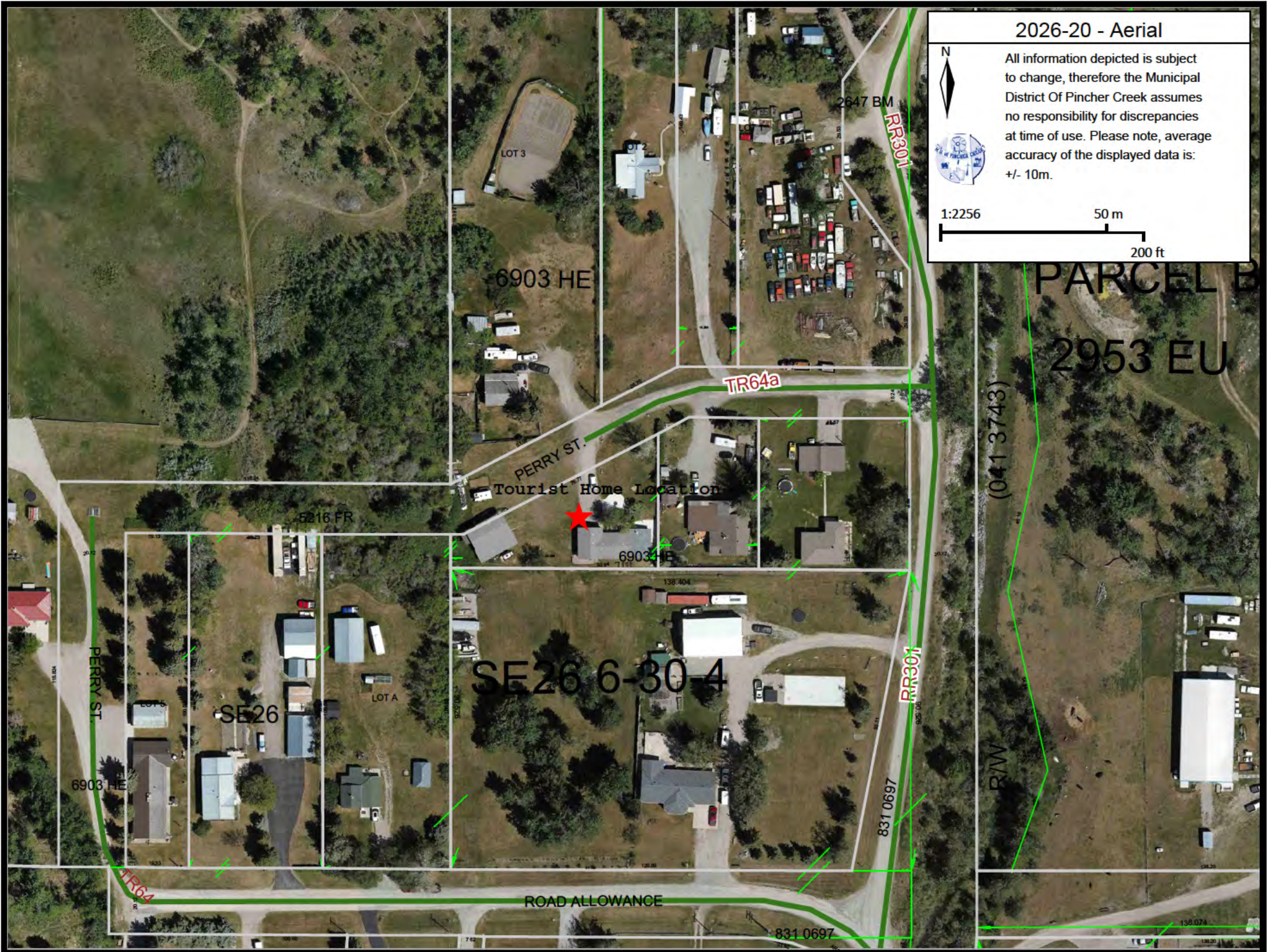
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1:2256

50 m

200 ft



DEVELOPMENT OFFICER REPORT

April 2026

Development / Community Services Activities include:

- Apr 7 Planning Session
- Apr 7 Subdivision Authority Meeting
- Apr 7 MPC Meeting
- Apr 8 Castle Mountain Resort Meeting – ASP Review
- Apr 9 Economic Development Round Table – Southwest
- Apr 10 SDO
- Apr 14 Council Committee & Council Meeting
- Apr 14 Castle Mountain Resort & Admin Meeting
- Apr 14 Joint Use and Planning Agreement Meeting – LRSD & Admin
- Apr 16 Lundbreck Hamlet Growth Study Open House
- Apr 22 Film on Housing – PC Foundation
- Apr 24 Council Committee & Council Meeting
- Apr 23/24 Kananskis Rodeo Association Volunteer Days
- Apr 27-30 Community Planning Association Conference
- Apr 30 Admin Safety Meeting

PLANNING DEPARTMENT STATISTICS

Development Permits Issued by the Development Officer for April 2026

No.	Applicant	Division	Legal Address	Development
2026-15	Ethel McKellar	5	Lot 16, Block 17, Plan 7610822 Within Lundbreck	Accessory Building
2026-16	Roberta Myles	5	Lots 17-20, Block 9, Plan 1993N within Pincher Station	Accessory Building
2026-19	Sila Developments Ltd (McCue)	3	Lot 21, Block 4, Plan 0512644 within Castle Mountain Resort	Single Detached Residence Replacement

Development Permits Issued by Municipal Planning Commission April 2026

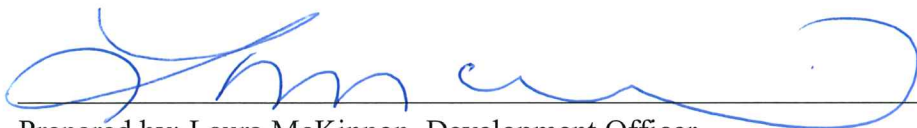
2026-12	Frank Marsh	3	NE 12-6-1 W5	Outdoor Storage
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Development Statistics to Date

DESCRIPTION		2026 To date (Apr)	2025	2024	2023
Dev Permits Issued	4 - Apr	18 13 -DO 5 -MPC	55 38 -DO 16 -MPC 1-Council	54 38 -DO 16 -MPC	49 31 – DO 18 - MPC
Dev Applications Accepted	7 – Apr	21	60	58	54
Utility Permits Issued	3 – Apr	16	48	23	35
Subdivision Applications Approved	1 – Apr	5	12	12	5
Rezoning	0 – Apr	1	0	1	0
DESCRIPTION		2026 to Date (Apr)	2025	2024	2023
Compliance Cert	0 – Apr	9	16	34	21

RECOMMENDATION:

That the report for the period ending March 31, 2026, be received as information.



Prepared by: Laura McKinnon, Development Officer

Date: April 30, 2026

Respectfully Submitted to: Municipal Planning Commission